

Appeal Period Expires 4/15/22
Zoning District F1

Town of Essex, Vermont
Application for Zoning Permit
(Building Permit)

Application Date 3/1/2022
Permit Number 2022-33

- Contact State Permit Specialist Jeff McMahon (477-2241) to check for state permitting and/or setbacks.
- Post permit card visible to the road immediately as Permit is appealable within 15 days of issuance.
- Call the Zoning Administrator at 878-1343 to schedule a Certificate of Occupancy inspection if indicated below as required.
- Call the Assessor at 878-1345 to schedule a re-assessment upon completion of work.

Signed: [Signature]

Parcel Account Numb. (Map-Parcel-Lot) 2- 023 - 002 - 000

Property Address: 18 River Road, Essex Jct VT 05452

Owner: 18 River Road, LLC

Owner Address: 1026 Joslin Hill Road, Waitsfield VT 05673

Owner Phone: (work) [Signature] (home) _____
(cell) 802-224-6576 (Email) nate@natesautomotive.com
Mazerperformance@yahoo.com

Tenants name: _____ Phone: _____
*Schmy Cell: 238 91731

Estimated Construction Dates: Start: 4/4/2022 Completion: 7/30/2022

Sq. Feet: 12,300 Estimated Cost (labor & materials): \$ 832,150

Sewage Disposal (Please attach Sewer or Septic Application).

Public Septic Connection Fee \$ _____ Date Paid: 1/1/

Proposed New Bedrooms: _____ Existing Bedrooms _____

Water (Please attach Water Service Application).

Public Well Fee \$ _____ Date Paid: 1/1/

Driveway (Please attach copy of approved Curbcut / Utility Application).

Date of approval 1/1/ *Village* see attached

Stormwater

Project disturbs an area greater than or equal to 1 acre – Erosion Control Permit Required. Attach completed permit application.

Project creates new or expands existing impervious surface greater than or equal to 1/2 acre – Erosion Control Permit and Stormwater Management Permit required. Attach completed permit application.

Diagram – Show a sketch of project on reverse of this application with property lines, building, and setbacks or attach separate sheet.

Construction of BASIC COLD STORAGE UNITS to be constructed pursuant to Essex Planning Commission Approval: PC:2021-27, issued on 11-14-21

To include the demolition of the existing structure

Signature of Tenant and
Signature of Owner [Signature]

G

Check box(es) which describe proposed use or construction (circle choice in parenthesis).

N = New A = Addition R = Remodel

Residential:

	N	A	R
Single Family	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Two-family (duplex)(other)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Multi-family	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Condominium / Townhouse	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mobile home	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Inclusions or Additions:

Garage (attached) (detached)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Porch (enclosed) (open)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Deck	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pool (in) (above) ground	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Shed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Barn (residential) (agriculture)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Non-residential:

Commercial / Industrial	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Stormwater:

Stormwater	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Erosion Control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Other:

Change in use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Miscellaneous	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Renewal	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Office Use Only

Fees:	Type	Amount	Date Pd
Permit		<u>4,992.90</u>	<u>1/1/</u>
Recreation		<u>111</u>	<u>12-17-22</u>
Recording		<u>\$ 30 =</u>	<u>1/1/</u>
Certificate of Occ		<u>\$ 100 =</u>	<u>1/1/</u>
Other		<u>\$</u>	<u>1/1/</u>

Building Permit
Approved Rejected Date 3/31/22

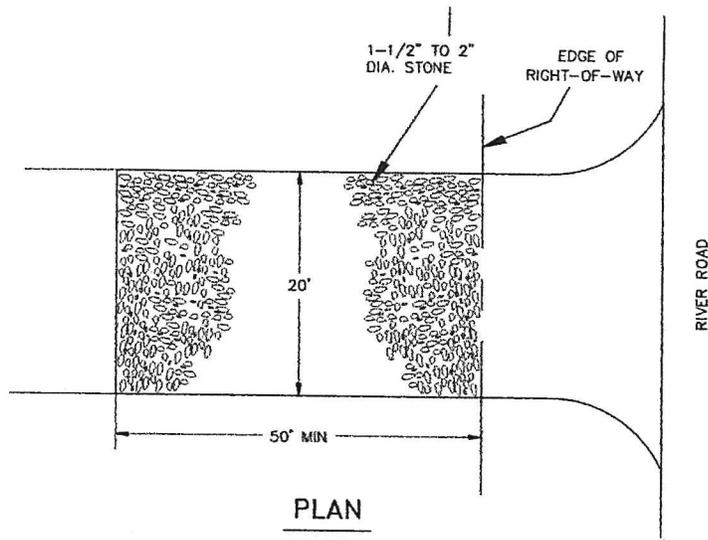
Issued to: 18 River Road LLC

Zoning Administrator: [Signature]

Notes: _____

C.O. Required Yes No

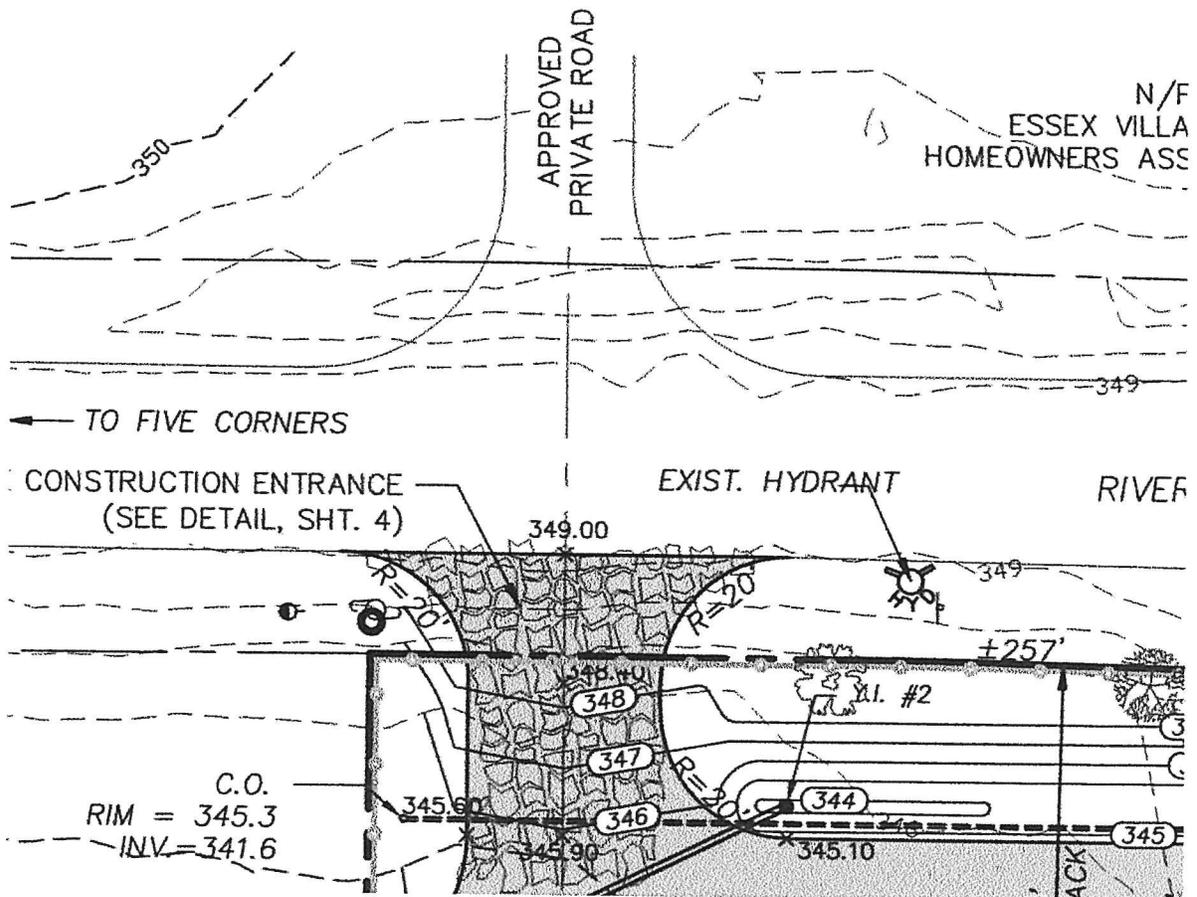
**THIS PERMIT VALID FOR TWELVE (12) MONTHS FROM DATE OF ISSUE
RENEW FOR 1 YEAR (FREE) IF NOT EXPIRED**



NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT TRACKED, SPILLED, OR WASHED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
2. THE USE OF CALCIUM CHLORIDE OR WATER MAY BE NECESSARY TO CONTROL DUST DURING DRY PERIODS.
3. PROVIDE APPROPRIATE TRANSITION BETWEEN CONSTRUCTION ENTRANCE AND EDGE OF RIGHT-OF-WAY.

CONSTRUCTION ENTRANCE



2nd week
April 8

Village of Essex Junction, VT Excavation/Curb Cut Application

Fee: \$100.00 Major Excavation (alterations to sidewalk, curbing or road) / \$30.00 Minor Excavation

Property Description (address) for application 18 River Road

Bevins & Son Excavating Inc 18 River Road, LLC (c/o Joshua Mazer)
Persons or company performing work Property Owner

Dig Safe # 20221202188 Number of Excavations in R.O.W CURB CUT

Bill to Address 141 River St, Milton, VT 05468 Address 42 River Road, Essex Jct, VT 05452

Day Phone # (802) 893-4946 Day Phone # 879-0115

Permit reply fax # _____ Requested starting date: ASAP

Do you anticipate cutting into pavement, sidewalk or curb? Yes _____ No X Days for completion _____

Describe purpose and attach drawing or site plan See attached Drawings

Application shall be submitted to the village a minimum of two working days prior to the requested start date, unless it is for emergency repairs and be accompanied by a Certificate of Insurance demonstrating One Million Dollars (\$1,000,000) of commercial liability insurance naming the Village of Essex Junction as an additional insured. In the event of an emergency, the applicant shall notify the Essex Police at 878-8331 prior to starting work, and shall notify the Village at 878-6950 the next business day. After receiving approval and a copy of the permit, the applicant is authorized to begin work on the approved start date shown below. The applicant is responsible for notifying dig-safe, 1-888-344-7233. Traffic control for the project is the applicant's sole responsibility. For work on class 1 and class 2 highways, the applicant shall notify the Essex Police at 878-8331 at least 24 hours prior to beginning work.

If the area of the cut in the pavement is under 100 sf., the public works department will perform the repair and bill the applicant for the time and material costs (see time and materials fee schedule). If the area of the cut is greater than 100 sf., the applicant shall hire a qualified contractor to perform the repair and all materials shall comply with the village public work standards.

I understand that I must obtain approval to open or alter any curb cut, which serves as a driveway to any property or structure. I agree to abide by all the rules and regulations as specified in the General Regulation of Public Streets Ordinance and Land Development Code and any conditions placed upon the approval application, including the attached Excavation Permit General Requirements.

Applicant JL P. Mazer Date 3/18/2022

Property Owner JL P. Mazer Date 3/18/2022

RECEIVED
MAR 22 2022

Staff Action

Date received _____ Approved Start Date _____ Valid for 30 Days _____ Denied _____
Village of Essex Junction

Conditions, if any _____

Marked out by _____ Planning Dept Permit Yes _____ No _____ Approval by Public Works Yes _____ No _____
(If yes, PC approval conditions have been met)

Authorized Public Works Personnel _____ Date _____

Fee Amount:
100.00.
Cash

Fee ~~PAID~~
MAR 22 2022
Village of Essex Junction

Deana Stoneback

From: Terry Hass
Sent: Thursday, March 31, 2022 9:49 AM
To: Deana Stoneback; Ricky Jones
Cc: Sharon Kelley
Subject: RE: Curb cut-18 River Road
Attachments: Excavation 18 River Road.pdf; 2011-06-S6 - 18 River Road LLC Site Plan 3.21.22.pdf

Hi Deana,
This is what I sent Sharon last week.

The Village Engineer had the applicant change the curbcut access on page 4. Nate Crete said he will contact me in April as to when he wants to start the excavation for the access drive, the Village excavation permit is only good for 1 month.

Terry

From: Deana Stoneback <dstoneback@essex.org>
Sent: Thursday, March 31, 2022 8:32 AM
To: Terry Hass <terry@essexjunction.org>; Ricky Jones <rick@essexjunction.org>
Cc: Sharon Kelley <skelley@ESSEX.ORG>
Subject: Curb cut-18 River Road

Good morning Terry!

I just wanted to check in on the status of the curb cut application for 18 River Road. Just trying to clear up some things I'm holding onto.

Thank you!
Deana
Administrative Assistant
Town of Essex Community Development Department



**State of Vermont
Policy, Planning & Intermodal Development Division
Policy, Planning and Research Bureau
Development Review & Permitting Services Section**

Agency of Transportation

Barre City Place, 219 North Main Street [phone] 802-636-0037
Barre, VT 05641 [ttd] 800-253-0191
vtrans.vermont.gov

October 27, 2021

18 River Road, LLC
Joshua Mazer via email: mazerperformance@yahoo.com
3566 Roosevelt Highway
Bolton, VT 05452

Subject: Essex, VT117, L.S. 0063+89 RT

Dear Joshua,

Your application for a permit to work within the State Highway right-of-way to remove an existing residential access, add topsoil and seed, and cut and cap an existing water service, at the location indicated, has been processed by this office and is enclosed.

Please contact the District Transportation Office #5 prior to starting work in the state highway right-of-way. The telephone number in Colchester is (802) 655-1580.

Sincerely,

DocuSigned by:

AC082480A0D6459...

Ed Pierce
Permit Coordinator
Permitting Services

Enclosures

cc: District Transportation Office #5
O'Leary-Burke Civil Associates Inc

PERMIT ID# _____

FOR AGENCY USE ONLY

Town: Essex
Route: VT 117
Mile Marker: 1.21 RT
Log Station: 063+89 RT

VERMONT AGENCY OF TRANSPORTATION
State Highway Access and Work Permit

Owner's/Applicant's Name, Address, E-mail & Phone No. 18 River Road, LLC (c/o Joshua Mazer)
3566 Roosevelt Highway, Bolton, VT 05452. (802) 434-6688, mazerperformance@yahoo.com
Co-Applicant's Name, Address, E-mail & Phone No. (if different from above) _____

The location of work (town, highway route, distance to nearest mile marker or intersection & which side)
18 River Road (Route 117), Essex VT

Description of work to be performed in the highway right-of-way (attach plan)
Removal of driveway serving existing single family home located at 18 River Road. Following removal of existing driveway the area is to be restored per the attached plan (see Sheet 1).

Property Deed Reference Book: 841 Page: 281-282 (only required for Permit Application for access)
Fee \$ 0 (fees do not apply for residential or agricultural purposes)

Is a Zoning Permit required? Yes No - If Yes, # _____
Is a 30 VSA § 248 permit required? Yes No - If Yes, # _____
Is an Act 250 permit required? Yes No - If Yes, # _____
Other permit(s) required? Yes No - If Yes, name and # of each _____

Date applicant expects work to begin Fall 20 21
Owner/Applicant: Joshua Mazer Position Title: Owner
(Print name above)

Sign in Shaded area: [Signature] Date: 10/26/2021

Co-Applicant: _____ Position Title: _____
(Print name above)

Sign in Shaded area: _____ Date: _____

INSTRUCTIONS: -Contact the Development Review and Permitting Services Section (802.636.0037) or your local area Transportation Maintenance District Office to determine your issuing authority. The issuing authority will determine what plans, fee and other documents are required to be submitted with your Vermont Statutes Annotated, Title 19, Section 1111, permit application request.

- Original signatures are required on an original Form. The Owner/Applicant and Co-Applicant (if applicable) declares under the pains and penalty of perjury that all information provided on this form and submitted attachments are to the best of their knowledge true and complete.

FEE: -See Fee Schedule for applicable administrative processing and application review fee.

PERMIT APPROVAL

REMOVE AN EXISTING RESIDENTIAL ACCESS, ADD TOPSOIL AND SEED, AND CUT AND CAP AN EXISTING WATER SERVICE

The work is subject to the restrictions and conditions on the reverse page, plus the Special Conditions stated on the attached page(s).

Date work is to be completed DECEMBER 1, 2022

Date work accepted: _____

By [Signature: Craig Keller] Issued Date 10/27/2021
26070EC912D1494
Authorized Representative for Secretary of Transportation

By: _____ DTA or Designee

NOTICE: This permit covers only the Vermont Agency of Transportation's jurisdiction over this highway under Vermont Statutes Annotated, Title 19, Section 1111. It does not release the petitioner from the requirements of any other statutes, ordinances, rules or regulations. This permit addresses only access to, work within, and drainage affecting the state highway. It does not address other possible transportation issues, such as access to town highways, use of private roads, and use of railroad crossings. If relevant to the proposed development, such issues must be addressed separately.

No work shall be done under this permit until the owner/applicant has contacted the District Transportation Office at:

(802) 255-1500

Applicant to Complete

RESTRICTIONS AND CONDITIONS**DEFINITIONS:**

"Agency" means the Vermont Agency of Transportation (a/k/a VTrans).

"Engineer" means the authorized agent of the Secretary of Transportation.

"Owner/Applicant" means the party(s) to whom the permit is to be issued.

"Co-Applicant" means the party who performs the work, if other than Owner/Applicant or a secondary Owner/Applicant under a joint permit application.

"Permit Holder" means the party who currently owns the lands abutting the highway that are the subject of the permit.

GENERAL:

By accepting this permit, or doing any work hereunder, the Owner/Applicant agrees to comply with all of the restrictions and conditions and any imposed special conditions. If the Owner/Applicant is aggrieved by the restrictions and conditions or special conditions of the permit, they shall submit a written request for consideration to the Engineer within 30-days of permit issuance and prior to starting any work. No work will be authorized by the Agency, or performed under the permit, until the dispute is fully resolved.

Vermont Statutes Annotated, Title 30, Chapter 86 ("Dig Safe") requires notice to Dig Safe before starting excavation activities. The Permit Holder or his/her contractor must telephone Dig Safe at 811 at least 48 hours (excluding Saturdays, Sundays and legal holidays) before, but not more than 30 days before, starting excavation activities at any location. In addition, please note that the Agency and many municipalities are not members of Dig Safe and will need to have their utility facilities investigated with due diligence prior to starting excavation activities in or on the State Highway right-of-way.

The Permit Holder is to have a supervisory representative present any time work is being done in or on the State Highway right-of-way. A copy of this permit and Special Conditions must be in the possession of the individual performing this work for the Permit Holder.

Except with the specific, written permission of the District Transportation Administrator, all work in the State Highway right-of-way shall be performed during normal daylight hours and shall cease on Sunday, on all holidays (which shall include the day before and the day following), during or after severe storms, and between December 1 and April 15. These limitations will not apply for the purposes of maintenance, emergency repairs, or proper protections of the work which includes, but not limited to, the curing of concrete and the repairing and servicing of equipment.

The Owner/Applicant shall be responsible for all damages to persons or property resulting from any work done under this permit, even if the Applicant's Contractor performs the work. All references to the Owner/Applicant also pertain to the Co-Applicant.

The Owner/Applicant must comply with all federal and state statutes or regulations and all local ordinances controlling occupancy of public highways. In the event of a conflict, the more restrictive provision shall apply.

The Owner/Applicant must, in every case where there is a possibility of injury to persons or property from blasting, use a pre-approved Blasting Plan. All existing utility facilities shall be protected from damage or injury.

The Owner/Applicant shall erect and maintain barriers needed to protect the traveling public. The barriers shall be properly lighted at night and must be MUTCD (Manual on Uniform Traffic Control Devices) compliant.

All temporary and permanent traffic control measures and devices shall be MUTCD compliant.

The Owner/Applicant shall not do any work or place any structures or obstacles within the State Highway right-of-way, except as authorized by this permit.

The Owner/Applicant may pay the entire cost of the salary, subsistence and traveling expenses of any inspector appointed by the Engineer to supervise such work.

The Engineer may modify or revoke the permit at any time for safety-related reasons, without rendering the Agency or the State of Vermont liable in any way.

In addition to any other enforcement powers that may be provided for by the law, the Engineer may suspend this permit until compliance is obtained. If there is continued use or activity after suspension, the Engineer may physically close the work area and take corrective action to protect the safety of the highway users.

The Permit Holder shall be responsible to rebuild, repair, restore and make good all injuries or damage to any portion of the highway right-of-way that has been brought about by the execution of the permitted work, for a minimum period of eighteen (18) months after final inspection by the District.

Any approved variance from the permitted plans is to be recorded on "as-builts" with copies provided to both the Chief of Permitting Services and the District Transportation Administrator.

ACCESS:

This permit (if for access) does not become effective until the owner/applicant records in the office of the appropriate municipal clerk, the attached "Notice of Permit Action"

As development occurs on land abutting the highways, the Agency may revoke a permit for access and require the construction of other access improvements such as the combination of access points by adjoining owners.

Under Vermont Statutes Annotated, Title 19, Section 1111, no deed purporting to subdivide land abutting a state highway can be recorded unless all the abutting lots so created are in accordance with the standards of Section 1111.

The Permit Holder acknowledges and agrees that neither this permit nor any prior pattern of use creates an ownership interest or other form of right in a particular configuration or number of accesses to or through the highway right-of-way, and that the right of access consists merely of a right to reasonable access the general system of streets, and is not a right to the most convenient access or any specific configuration of access.

DRAINAGE:

The Owner/Applicant shall install catch basins and outlets as may be necessary, in the opinion of the Engineer, to preclude interference with the drainage of the state highway. Direct connections shall not be allowed without written approval.

UTILITY WORK; CUTTING AND TRIMMING TREES:

The Owner/Applicant shall obtain the written consent of the adjoining owners or occupants or, in the alternative, an order from the State Transportation Board in accordance with, Vermont Statutes Annotated, Title 30, Section 2506, regarding cutting of or injury to trees.

In general, all utilities shall be located adjacent to the State Highway right-of-way boundary line and shall be installed without damaging the highway or the highway right-of-way. No pole, push-brace, guy wire or other aboveground facilities shall be placed closer than 10 feet to the edge of traveled-way. If the proposed utility facilities are in conflict with the above, each location is subject to the approval of the Engineer.

Poles and appurtenances shall be located out of conflict with intersection sight distance, guardrail, ditches, signs, culverts, etc.

Where the cutting or trimming of trees is authorized by permit, all debris resulting from such cutting and trimming shall be removed from the State Highway right-of-way.

Open cut excavation for highway crossings is NOT the option of the Applicant, and may be utilized only where attempted jacking, drilling, or tunneling methods fail or are impractical. The Owner/Applicant shall obtain an appropriate modification of the highway permit from the Engineer before making an open cut.

JOINT PERMITS:

A joint permit application is required when more than one party will be involved with the construction, maintenance, and/or

18 River Road, LLC
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October 27, 2021
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SPECIAL CONDITIONS

This permit is granted subject to the restrictions and conditions on the back of the permit, with particular attention given to the Special Conditions listed below. This permit pertains only to the authority exercised by the Vermont Agency of Transportation (Agency) under Vermont Statutes Annotated, Title 19, Section 1111, and does not relieve the Permit Holder from the requirements of otherwise applicable statutes, rules, regulations or ordinances (e.g., Act 250, zoning, etc.). The Permit Holder shall observe and comply with all Federal and State laws and local bylaws, ordinances, and regulations in any manner affecting the conduct of the work and the action or operation of those engaged in the work, including all orders or decrees as exist at present and those which may be enacted later by bodies or tribunals having jurisdiction or authority over the work, and the Permit Holder shall defend, indemnify, and save harmless the State and all its officers, agents, and employees against any claim or liability arising from or based on the violation of any such law, bylaws, ordinances, regulations, order, or decree, whether by the Permit Holder in person, by an employee of the Permit Holder, by a person or entity hired by the Permit Holder, or by a Subcontractor or supplier.

The Permit Holder shall accomplish all work under this permit in accordance with the attached plans "18 River Road, LLC – Mini-Storage" by O'Leary-Burke Civil Associates, PLC, last revised 10/25/21.

A preconstruction meeting to discuss work to be completed must be held prior to the Permit Holder's employees or contractor beginning work. The Permit Holder is required to notify the District Transportation Administrator five (5) working days in advance of such meeting.

Please note that the Vermont Agency of Transportation is not a member of Dig Safe. The Permit Holder shall also contact Dan Ertel, State Signal Supervisor, at (802) 343-2188. Mr. Ertel will need to locate and mark all existing buried utility facilities owned by the Agency near the location of the proposed work.

Roadway shoulder areas must be maintained free of unnecessary obstructions, including parked vehicles, at all times while work is being performed under this permit.

Two-way traffic shall be maintained at all times unless permission is granted from the District Transportation Administrator. Whenever two-way, one-lane controlled traffic is authorized to be maintained by the Applicant's Contractor, **the traveling public shall not be delayed more than 10 minutes.**

All grading within the State Highway right-of-way associated with the proposed construction shall be subject to inspection and approval by the District Transportation Administrator or his or her staff. The Permit Holder shall be responsible for ensuring that all grading work in or on the State Highway right-of-way complies with applicable statutes, rules, regulations or ordinances.

In areas to be grass covered, the Permit Holder shall restore turf by preparing the area and applying the necessary topsoil, limestone, fertilizer, seed, and mulch, all to the satisfaction of the District Transportation Administrator. The Permit Holder shall be responsible for ensuring that all turf restoration work in or on the State Highway right-of-way is in compliance with applicable statutes, rules, regulations or ordinances.

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The Permit Holder must install temporary pavement prior to weekend shutdown after completion of backfilling where an open cut excavation has been made through a roadway subject to vehicular traffic or where construction for any roadway widening for turn lanes has been brought to grade. The temporary pavement shall consist of, at least, 2 inches of compacted bituminous concrete. Temporary pavement shall be properly maintained and shall be replaced with permanent pavement prior to completion of the project or suspension of work for the winter season. (This is a contingency condition in the event the "open cut method" is approved during construction.)

Upon completion of the work, the Permit Holder shall be responsible to schedule and hold a final inspection. The Permit Holder is required to notify the District Transportation Administrator five (5) working days in advance of such inspection.

The Permit Holder must backfill all open trenches or pits at the end of each day. With permission from the District Transportation Administrator, trenches or pits may be left open for short periods of time if properly protected. In no case shall trenches or pits be left open over a weekend. The Permit Holder shall be responsible for ensuring that all trench or pit work in or on the State Highway right-of-way is in compliance with applicable statutes, rules, regulations or ordinances.

The Permit Holder shall promptly and unconditionally pay for full repair and restoration of any and all damages to existing underground utility facilities (meaning any underground pipe, conduit, wire or cable, including appurtenances) that have been brought about by the execution of the permitted work. The Permit Holder also is required to pay for any costs to repair the highway following and resulting from any repairs to existing utilities occurring as a result of the work covered by this permit. Except with the specific, written permission of the Engineer, the Permit Holder or his or her contractor shall expose all underground facilities to verify their location and depth, at each location where the authorized boring or drilling work crosses a facility; and at reasonable intervals when closely paralleling a facility. Whenever possible, existing facilities should be crossed at a perpendicular angle. The Permit Holder shall be responsible for obtaining the modification of this permit, if necessary, for any additional survey work before initiating boring or drilling operations under the permit. The Agency will treat the Permit Holder's failure to fully, promptly, and conscientiously comply with all of conditions of this paragraph, including but not limited to the obligation to pay for repairs, as grounds for the Agency to refuse to grant any further requests by the Permit Holder for any other permits for subsurface work unless the Permit Holder furnishes irrevocable financial security, in a type and an amount deemed sufficient by the Agency in its sole discretion, prior to such future subsurface work.

The Permit Holder shall at a minimum install and maintain erosion prevention and sediment control measures in accordance with the Low Risk Site Handbook for Erosion Prevention and Sediment Control published by the Vermont Department of Environmental Conservation for the purposes of preventing sediment transport into the Agency's State Highway right of way and stormwater management systems or surface waters of the State. All disturbed earth areas having erosion potential must be temporarily or permanently stabilized, as soon as practicable or within seven (7) days of disturbance or, if precipitation is forecast sooner. Ditches or slopes steeper than 1:3 shall make use of appropriate biodegradable erosion matting composed of planar woven natural fiber. Stabilization measures constructed in the State Highway right-of-way shall be in compliance with the current version of the Vermont Agency of Transportation Standard Specifications for Construction.

The Permit Holder shall verify the appropriate safety measures needed, prior to construction, so proper

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devices and/or personnel are available when and as needed. Traffic control devices, shall be in conformance with the MUTCD (Manual on Uniform Traffic Control Devices), Agency standards and any additional traffic control deemed necessary by the District Transportation Administrator. The Permit Holder's failure to utilize proper measures shall be considered sufficient grounds for the District Transportation Administrator to order cessation of the work immediately.

The Permit Holder will perform construction in such a way as to minimize conflicts with normal highway traffic. When two-way traffic cannot be maintained, the Permit Holder shall provide a sign package that conforms to the MUTCD (Manual on Uniform Traffic Control Devices) or Agency standards, as well as trained Flaggers. The District Transportation Administrator may require a similar sign package with trained Flaggers whenever it is deemed necessary for the protection of the traveling public. In addition, the District Transportation Administrator may require the presence of Uniform Traffic Officers (UTOs); moreover, the presence of UTOs shall not excuse the Permit Holder from its obligation to provide the sign package and Flaggers.

When traffic control becomes so complex that the traffic control cannot be accomplished using Agency standards, the Permit Holder must submit a traffic control plan to the Agency's Permitting Services office for Agency approval prior to beginning work.

The Permit Holder shall ensure that all workers exposed to the risks of moving highway traffic and/or construction equipment wear high-visibility safety apparel meeting the requirements of ISEA (International Safety Equipment Association) "American National Standards for High-Visibility Safety Apparel," and labeled as ANSI (American National Standards Institute) 107-2004, or latest revisions, for Performance Class 2 or 3 requirements. A competent person - one designated by the Permit Holder's Contractor to be responsible for worker safety within the activity area of the State highway right-of-way -shall select the appropriate class of garment. The Engineer may suspend this permit until compliance is obtained.

Independence; Liability: The Permit Holder will act in an independent capacity and not as officers or employees of the State.

The Permit Holder shall defend the State and its officers and employees against all claims or suits arising in whole or in part from any act or omission of the Permit Holder or of any agent of the Permit Holder. The State shall notify the Permit Holder in the event of any such claim or suit, and the Permit Holder shall immediately retain counsel and otherwise provide a complete defense against the entire claim or suit.

After a final judgment or settlement, the Permit Holder may request recoupment of specific defense costs and may file suit in the Washington Superior Court requesting recoupment. The Permit Holder shall be entitled to recoup costs only upon a showing that such costs were entirely unrelated to the defense of any claim arising from an act or omission of the Permit Holder.

The Permit Holder shall indemnify the State and its officers and employees in the event that the State, its officers or employees become legally obligated to pay any damages or losses arising from any act or omission of the Permit Holder.

Insurance: Before beginning any work under this Permit the Permit Holder must provide certificates of

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insurance to show that the following minimum coverages are in effect. It is the responsibility of the Permit Holder to maintain current certificates of insurance on file with the State for the duration of work under the Permit. No warranty is made that the coverages and limits listed herein are adequate to cover and protect the interests of the Permit Holder for the Permit Holder's operations. These are solely minimums that have been established to protect the interests of the State.

Workers' Compensation: With respect to all operations performed under the Permit, the Permit Holder shall carry workers' compensation insurance in accordance with the laws of the State of Vermont.

General Liability and Property Damage: With respect to all operations performed under the Permit, the Permit Holder shall carry general liability insurance having all major divisions of coverage including, but not limited to:

Premises - Operations
Products and Completed Operations
Personal Injury Liability
Contractual Liability

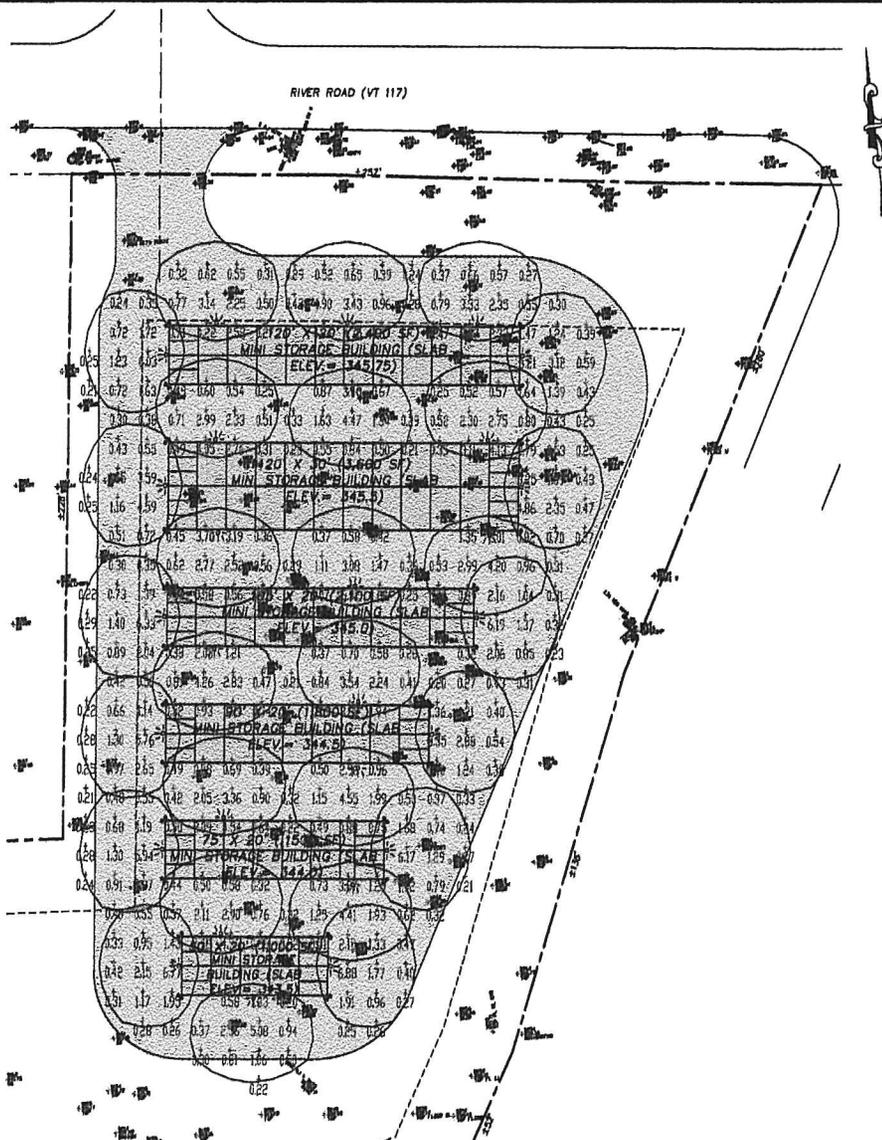
The policy shall be on an occurrence form and limits shall not be less than:

\$2,000,000 Per Occurrence
\$2,000,000 General Aggregate
\$2,000,000 Products/Completed Operations Aggregate
\$ 50,000 Fire/Legal Liability

Permit Holder shall name the State of Vermont and its officers and employees as additional insureds for liability arising out of this Permit.

Automotive Liability: The Permit Holder shall carry automotive liability insurance covering all motor vehicles, including hired and non-owned coverage, used in connection with the Permit. Limits of coverage shall not be less than: \$1,000,000 combined single limit.

Permit Holder shall name the State of Vermont and its officers and employees as additional insureds for liability arising out of this Permit.

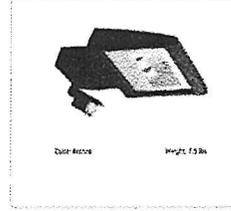


WPLED26NMS

RAB

LEGEND

- PROJECT BOUNDARY
- - - ADJACENT PROPERTY BOUNDARY
- RETRACT
- PROPOSED BUILDING AREA
- PROPOSED LIGHT FIXTURE

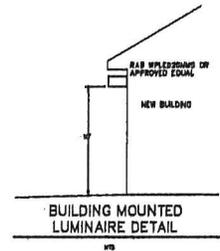


Project:	_____	Type:	_____
Prepared By:	_____	Date:	_____

Driver Info		LED Info	
Type	Canalix 4 Corvus	WSPS	260
100V	4.25A	Color Temp	4000K/3000K
200V	4A	Color Accuracy	71 CRI
240V	3.8A	175 Lumen	100 SDC Hours
315V	4A	Lumen	139
Input Power	22.10	Efficiency	133.3 lm/W

Technical Specifications

Performance	Construction	Any American Act Compliance
Lifespan: For 50,000 hour LED life span based on a 40,000 hour LED life span with a 10% failure rate at 100,000 hours.	IP Rating: IP66 Protection rating of IP66 for dust and water.	ASB may be able to provide: ASB may be able to provide the product in the quantities you require. Please contact Customer Service at 800-878-6447 or email us at info@americanact.com.
Warranty: 5 Year Limited	Optical: Beam Spread: 120°	Electrical: THD: 15%
LED Chipset: Cree XHP50	Driver: Cree	Equivalency: Equivalent to 100W incandescent
LED Characteristics: Color Temperature: 4000K Color Rendering Index: 71 CRI	Dimensions: 12.5" x 12.5" x 1.5"	

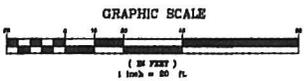


CALCULATED ILLUMINATION						
AREA	DESCRIPTION	AREA (SQ FT)	AVG. ILLUMINATION (FC)	MAX ILLUMINATION (FC)	MIN ILLUMINATION (FC)	UNIFORMITY RATIO
100	100	100	100	100	100	100

LUMINAIRE SCHEDULE						
NO.	SYMBOL	DESCRIPTION	QUANTITY	WATTAGE	HEIGHT	NOTES
100	100	RAB WPLED26NMS 10' BUILDING MOUNT	300	30W	10'	10'

NOTES:

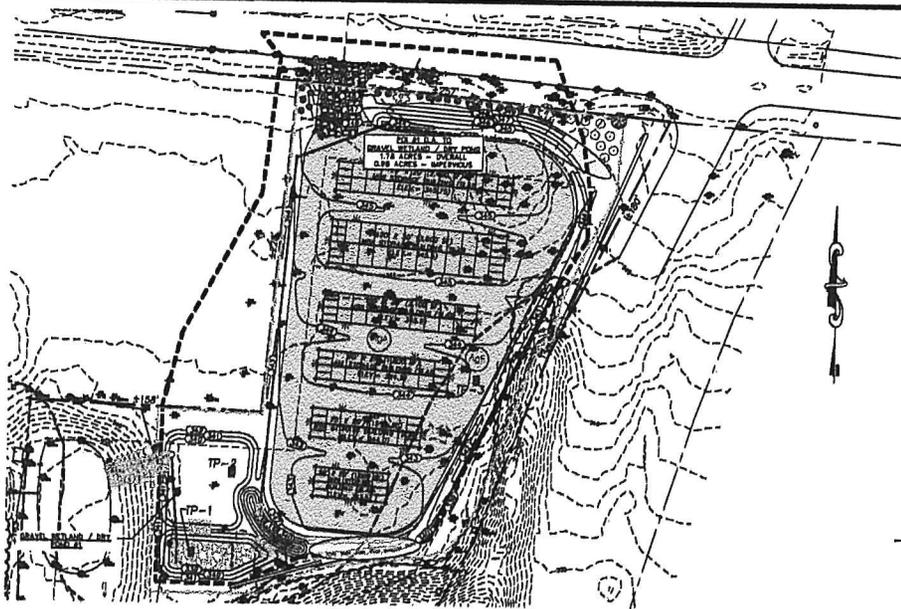
- ALL LIGHTS SHALL HAVE FIXTURES SHALL INCLUDE A VOTCH SENSOR.
- ALL SUBSTITUTIONS SHALL HAVE 26 WATT LED LAMP & APPROX. 10' BLDG. HEIGHT



THE CONTRACTOR SHALL NOTIFY 'TODAY' AT 1-888-88-8888 PRIOR TO ANY EXCAVATION.



DATE: 10/26/21	REVISION: REVISED PER 10/14/21 PLANNING COMMISSION APPROVAL COMMENTS	BY: JMB
DESIGNER: O'LEARY-BURKE CIVIL ASSOCIATES, PLLC	CHECKED: O'LEARY-BURKE CIVIL ASSOCIATES, PLLC	DATE: 11/22/21
<p>18 RIVER ROAD, LLC MINI-STORAGE ESSEX, VT</p>		DATE: 10/26/21
<p>PHOTOMETRIC PLAN</p>		NO. 3



STORMWATER MANAGEMENT PLAN

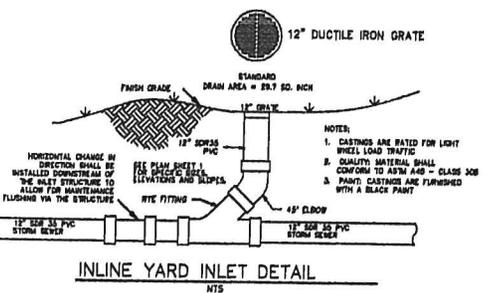
SCALE: 1" = 40'

NTS LOGS By: David Burke Method: Excavator Other's Present: Daniel Wall
 17 Name: 1011-06, Crane Date/Weather: October 31, 2020 / 50 degrees, Overcast

Depth	Color	Texture	Structure	Consistency	Water	Notes
2'-8"	10YR 4/3 (BROWN)	L	GR	L		
2'-14"	10YR 5/6 (YELLOWISH BROWN)	FS	GR	L		
10'-30"	10YR 5/2 (GRAYISH BROWN)	FS	GR	VS		
10'-42"	10YR 5/2 (BROWN)	S	SG	L		(MANGANESE / SHOWT @ 42')
12'-66"	10YR 5/2 (GRAY)	SL	KA	FR		

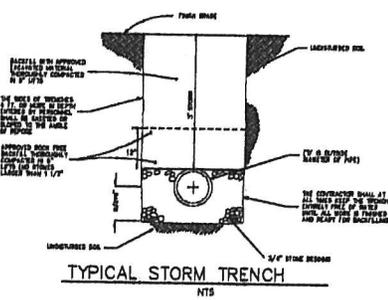
Depth	Color	Texture	Structure	Consistency	Water	Notes
1'-11"	10YR 4/3 (BROWN)	L	GR	L		
11'-18"	10YR 5/2 (YELLOWISH BROWN)	FS	GR	L		(MANGANESE / SHOWT @ 40')
18'-52"	10YR 5/2 (DARK YELLOW BROWN)	S	SG	L		58' NG/E

Depth	Color	Texture	Structure	Consistency	Water	Notes
3'-7"	10YR 4/3 (BROWN)	L	GR	L		
14'-18"	10YR 5/2 (DARK YELLOW)	S	SG	L		
14'-58"	10YR 5/2 (GRAY)	SL	KA	FR		NONE NONE 50'

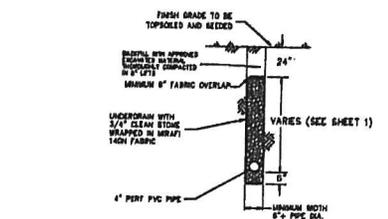


IN-LINE YARD INLET DETAIL

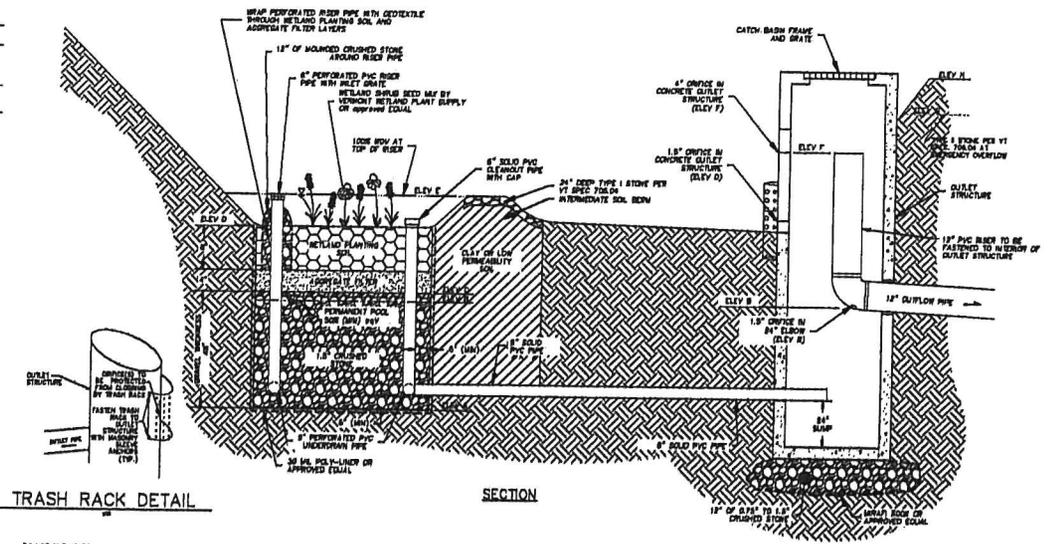
THE CONTRACTOR SHALL NOTIFY "DANGER" AT 1-888-963-SAFE PRIOR TO ANY EXCAVATION.



TYPICAL STORM TRENCH



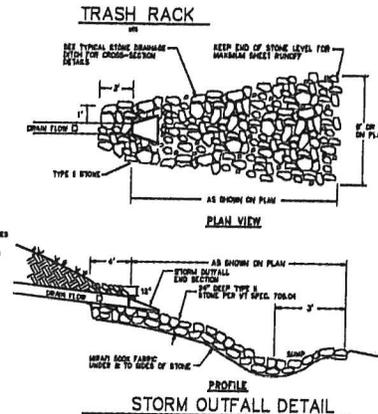
CURTAIN DRAIN DETAIL



TRASH RACK DETAIL

SECTION

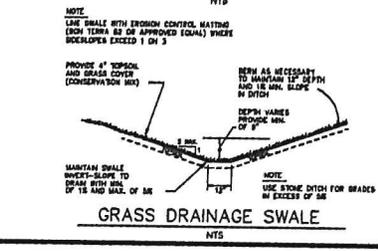
DO NOT CUT HOLES CLOSER TOGETHER THAN THE DIAMETER BEING DRILLED
 CUT HOLES IN A PIECE OF 84" HDPE PIPE OR LARGER (CUT IN HALF) ACTING AS TRASH RACK AND/OR PRIMARY OUTFLOW DEVICE(S). HOLES SHALL BE THE SAME SIZE AS LOW FLOW ORifice OR SMALLER BUT NOT LESS THAN 3/4"



TRASH RACK

PLAN VIEW

PROFILE



GRASS DRAINAGE SWALE

ID#	GRAVEL WETLAND / DRY POND	DESCRIPTION
NO. CELLS	1	NUMBER OF CELLS
LENGTH	SEE SITE PLAN	LENGTH OF EACH CELL AT BOTTOM
WIDTH	SEE SITE PLAN	WIDTH OF EACH CELL AT BOTTOM
NO. OF ALIGNED	3417	NO. OF ALIGNED OF CELLS
GRAVEL THICKNESS	48"	THICKNESS OF GRAVEL
ELEV. A	334.0	BOTTOM OF GRAVEL
ELEV. B	337.5	1.5" ORifice IN 24" PVC ELBOW / 18" HDPE PVC POND CUTWALL
ELEV. C	336.0	TOP OF GRAVEL
ELEV. D	339.0	GRAVEL WETLAND OVER BAY / 1.5" ORifice IN OUTLET STRUCTURE / BOTTOM OF DRY POND
ELEV. E	340.0	TOP OF GRAVEL BEDDING BERM
ELEV. F	340.1	2" ORifice IN OUTLET STRUCTURE / TOP OF 18" HDPE PVC BERM
ELEV. G	340.5	EMERGENCY OVERFLOW (2" HOLE X 10' LONG)
ELEV. H	341.0	TOP OF POND

GRAVEL WETLAND DETAIL

STORM SYSTEM MAINTENANCE

- MAINTENANCE PLAN**
- SYSTEM MAINTENANCE IS IMPORTANT FOR TREATMENT AND CONTROL OF STORM RUNOFF FROM THE IMPERVIOUS SURFACES (STORAGE AREA). THE FOLLOWING ELEMENTS FORM THE DRAINAGE REQUIREMENTS:
- THE OWNER (OR REPRESENTATIVE) SHALL PERFORM INSPECTIONS BI-ANNUALLY AND FOLLOWING SIGNIFICANT (LARGE) STORM EVENTS. THE FOLLOWING ITEMS SHALL BE REVIEWED: CONDITION OF THE VEGETATION, CONDITION OF THE DITCH SURFACES, DEPTH OF ACCUMULATED DEBRIS, THE PRESENCE OF STORAGE (IF ANY), CONDITION OF THE STORM PIPES, AND THE CONDITION OF THE PIPE JUNCTIONS AND OUTLETS. ANY OBSERVABLE DEGRADATION OF THE STORM SYSTEM SHALL BE NOTICED.
 - THE OWNER (OR REPRESENTATIVE) SHALL COMPLETE REPAIR OF ANY ITEMS AS REQUIRED TO MAINTAIN OPTIMAL SYSTEM OPERATION. AT A MINIMUM, THE FOLLOWING ITEMS SHALL BE REVIEWED:
 - ANY EROSION GULLIES 6 INCHES OR DEEPER SHALL BE FILLED AND VEGETATION ESTABLISHED IN THE DISTURBED AREA.
 - DEBRIS ACCUMULATED TO A DEPTH OF MORE THAN 6 INCHES IN THE DRAINAGE SWALES SHALL BE REMOVED AND DISPOSED OF IN AN UPLAND AREA THAT IS NOT WITHIN 100 FEET OF ANY OF THE STORM VEGETATION SHALL BE ESTABLISHED IN ALL DISTURBED AREAS.
 - VEGETATION SHALL BE ESTABLISHED AS NEEDED ON AREAS OF BARE SOIL. THIS IS PARTICULARLY IMPORTANT IN FLOW AREAS WHERE VEGETATION PROVIDES SEDIMENT RETENTION.
 - ALL PIPES SHALL BE INSPECTED TO PREVENT ENDS AND AIR IN THE ESTABLISHMENT OF VEGETATION. THESE TEMPORARY MEASURES SHALL BE REMOVED AFTER THE SITE IS STABILIZED AND THE RISK OF EROSION IS REDUCED.
 - THE DRAINAGE AREAS SHALL BE WORKED AS NEEDED TO PREVENT THE ESTABLISHMENT OF WOODY VEGETATION.
 - THE OWNER SHALL MECHANICALLY SWEEP AND REMOVE DEBRIS IN THE PROXIMITY AREAS A MINIMUM OF ONCE PER YEAR PRIOR TO MAY 15TH.



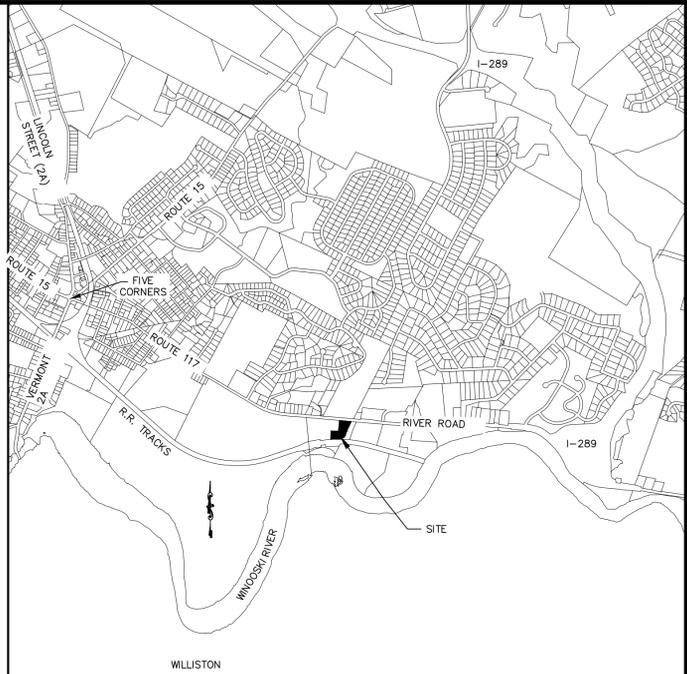
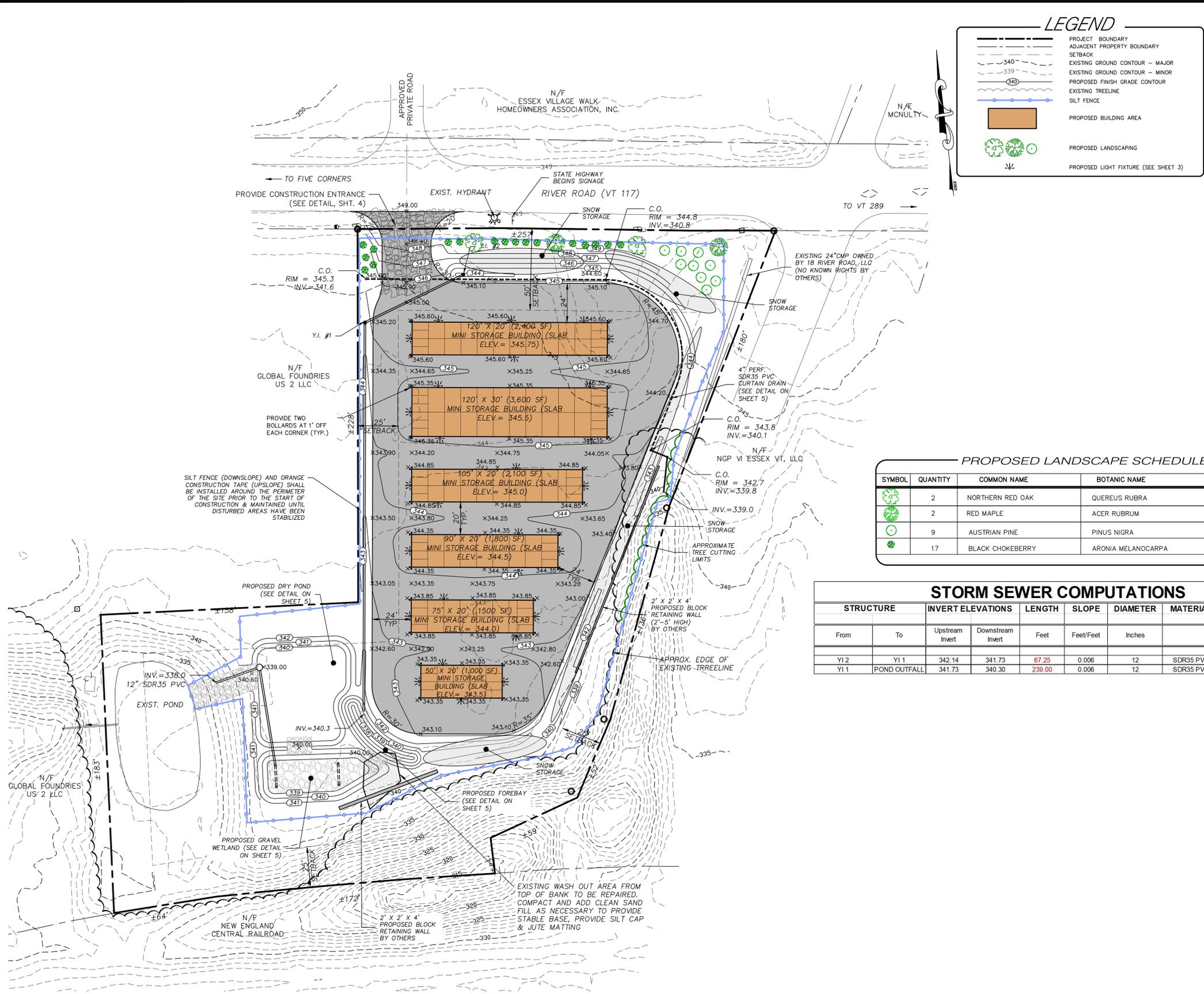
DATE	REVISION	BY	APP. / SIGN.
10/29/21	REVISED PER 10/14/21 PLANNING COMMISSION APPROVAL, CONDO BOARD		
10/29/21	ISSUED		
11/29/21	REVISED CURTAIN DRAIN DETAIL		
11/29/21	OTHER		
11/29/21	REVISION		
11/29/21	OTHER		
11/29/21	REVISION		
11/29/21	OTHER		
11/29/21	REVISION		
11/29/21	OTHER		
11/29/21	REVISION		
11/29/21	OTHER		

O'LEARY-BURKE CIVIL ASSOCIATES, P.C.

18 RIVER ROAD, LLC MINI-STORAGE

STORMWATER MANAGEMENT PLAN

5



PROPOSED LANDSCAPE SCHEDULE

SYMBOL	QUANTITY	COMMON NAME	BOTANIC NAME	SIZE
	2	NORTHERN RED OAK	QUERUS RUBRA	2-2" CALIPER
	2	RED MAPLE	ACER RUBRUM	2-2" CALIPER
	9	AUSTRIAN PINE	PINUS NIGRA	MIN. 5' HEIGHT
	17	BLACK CHOKEBERRY	ARONIA MELANOCARPA	3 GALLON

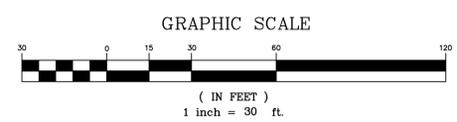
STORM SEWER COMPUTATIONS

STRUCTURE	INVERT ELEVATIONS		LENGTH	SLOPE	DIAMETER	MATERIAL	TOP OF UPSTREAM STRUCTURE	
	From	To						Upstream Invert
Y12	Y11	342.14	341.73	67.25	0.006	12	SDR35 PVC	343.70
Y11	POND OUTFALL	341.73	340.30	239.00	0.006	12	SDR35 PVC	344.20

ZONING INFORMATION

ZONED: INDUSTRIAL (I1)
 LOT SIZE: 2.28 ACRES
 PARCEL ID: 2023002000
 MIN. LOT SIZE: 40,000 S.F. (0.92 ACRES)
 MIN. LOT FRONTAGE: 200 FT
 MIN. SETBACKS:
 FRONT: 50 FEET
 SIDE: 25 FEET
 REAR: 25 FEET
 BUILDING HEIGHT: 45 FEET MAXIMUM ALLOWABLE
 PROPOSED: < 45'
 LOT COVERAGE: 70% MAXIMUM ALLOWABLE
 PROPOSED: 0.98 ACRES 43.0%

THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.



OWNER & APPLICANT
 18 RIVER ROAD, LLC
 (C/O NATHAN CRETE)
 42 RIVER ROAD
 ESSEX JCT., VT 05452



DATE: 10/25/21	REVISION: REVISED PER 10/14/21 PLANNING COMMISSION APPROVAL CONDITIONS	BY: DJH
DATE: 8/9/21	REVISION: REVISED LANDSCAPING AND ADDED SNOW STORAGE AREAS PER P&Z COMMENTS	BY: DJH
SURVEY: OTHER	<input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> PRELIMINARY	DATE: 4/29/21
DESIGN: DJH	<input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	JOB#: 2011-06
DRAWN: DJH		FILE: 2011-06-56
CHECKED: DJH		PLAN SHEET #
SCALE: 1"=30'	13 CORPORATE DRIVE ESSEX JCT., VT PHONE: 878-9590 FAX: 878-9589 E-MAIL: OBC@OLEARYBURKE.COM	

18 RIVER ROAD, LLC
MINI-STORAGE
 ESSEX, VT

SITE PLAN

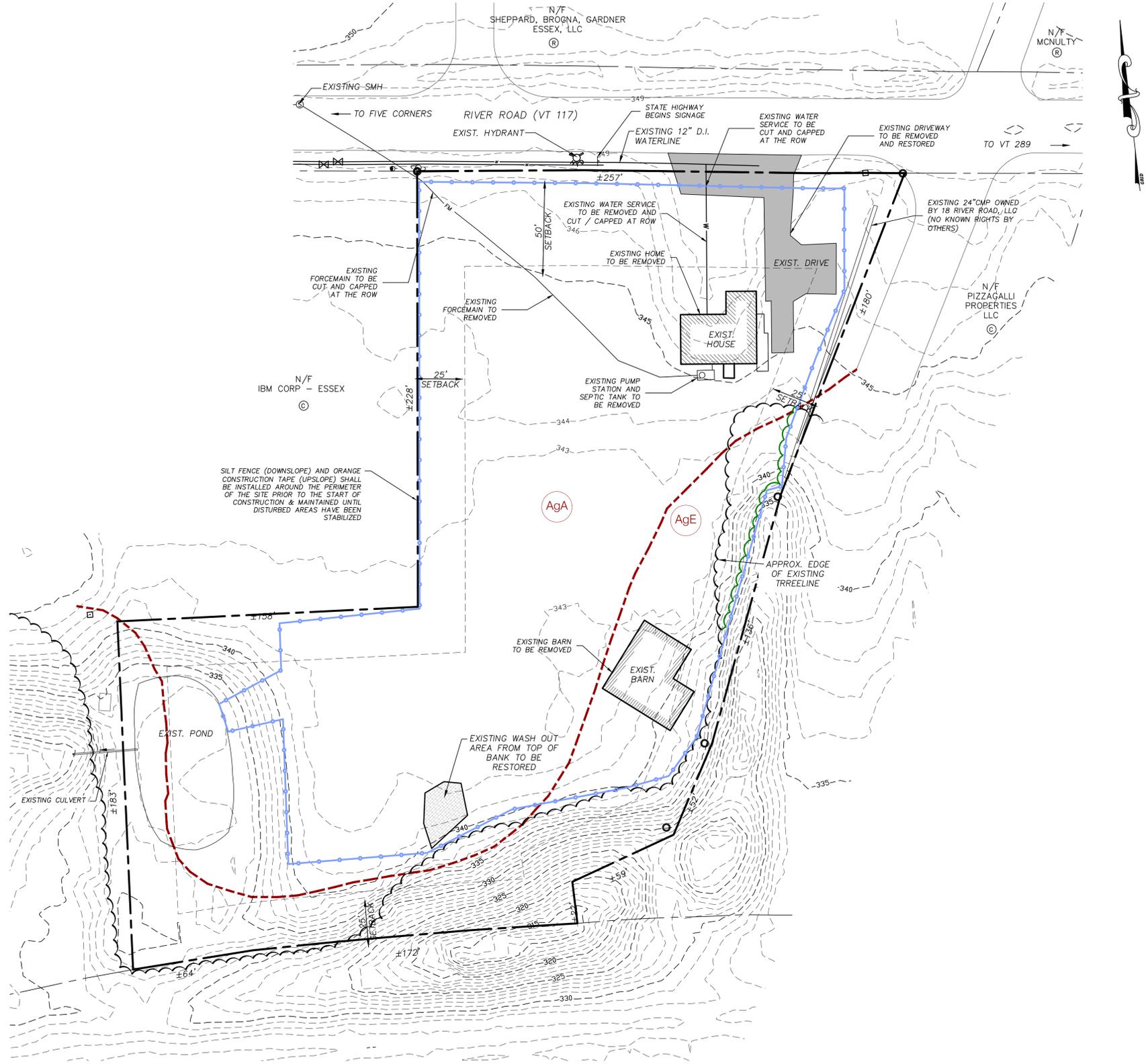
NOTE:
 THIS LOT IS EXISTING. THIS SITE PLAN IS NOT INTENDED TO PROVIDE DETAILED LOT BEARING & DISTANCES AND IS NOT TO BE USED FOR PROPERTY CONVEYANCE

GENERAL CONSTRUCTION NOTES

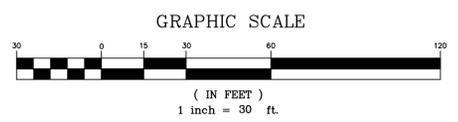
LEGEND

- PROJECT BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- SETBACK
- EXISTING GROUND CONTOUR - MAJOR
- EXISTING GROUND CONTOUR - MINOR
- EXISTING TREELINE
- EXISTING WATERMAIN
- EXISTING FORCEMAIN
- SILT FENCE
- EXISTING HOUSE

1. ALL WORK AND MATERIALS SHALL BE APPROVED BY AND IN ACCORDANCE WITH THE LATEST VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE TOWN OF ESSEX REQUIREMENTS, THE WRITTEN TECHNICAL SPECIFICATIONS, AND THESE PLANS.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITIES BEFORE EXCAVATION TO VERIFY THE LOCATION OF ANY UNDERGROUND LINES. THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-800-225-4977 PRIOR TO ANY EXCAVATION.
3. UTILITIES INFORMATION SHOWN HEREON WERE OBTAINED FROM BEST AVAILABLE SOURCES AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON. THE CONTRACTOR SHALL CONNECT OR RECONNECT ALL UTILITIES TO THE NEAREST SOURCE THROUGH COORDINATION WITH UTILITY OWNER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING VEGETATION, PAVEMENT AND STRUCTURES NECESSARY TO CONSTRUCT THIS PROJECT UNLESS OTHERWISE NOTED ON THESE PLANS. THE CONTRACTOR SHALL REMOVE ALL EXCESS MATERIAL, DEBRIS AND TRASH FROM THE SITE UPON COMPLETION OF CONSTRUCTION, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN EXPENSE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR A SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY BY THE ENGINEER, THE CONTRACTOR SHALL BE REQUIRED TO WET SECTIONS OF THE CONSTRUCTION AREA WITH WATER, APPLY CALCIUM CHLORIDE OR SHEEP ASPHALT ROADS WITH A POWER BROOM AS DUST CONTROL.
6. ANY SURFACES, LINES, OR STRUCTURES WHICH HAVE BEEN DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THE CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.
7. THE DESIGN ON THESE PLANS SHALL BE INSPECTED BY O'LEARY-BURKE CIVIL ASSOCIATES, P.L.C. OF ESSEX JUNCTION, VERMONT, TO ENSURE COMPLIANCE WITH THE APPROVED PLANS AND REQUIREMENTS. O'LEARY-BURKE WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS THAT MAY ARISE FROM THE FAILURE OF THE CONTRACTOR TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THAT THE PLANS CONVEY, AND FROM FAILURE TO HAVE BEEN NOTIFIED TO INSPECT THE WORKS AND TESTS IN PROGRESS.
8. FOR ANY WORK WITHIN THE HIGHWAY RIGHT-OF-WAY A MINIMUM OF ONE-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. CONTINUOUS TWO-WAY TRAFFIC WILL BE REQUIRED AT NIGHT, DURING PEAK HOURS, AND WHENEVER POSSIBLE DURING ACTUAL CONSTRUCTION ACTIVITIES. UNIFORMED TRAFFIC CONTROL OFFICERS SHALL DIRECT TRAFFIC DURING PEAK HOURS WHEN THERE IS ONE-WAY TRAFFIC OR WHEN DEEMED NECESSARY BY THE TOWN OR STATE. TEMPORARY CONSTRUCTION SIGNS AND TRAFFIC CONTROL SIGNS SHALL BE ERECTED BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND TOWN STANDARDS.
9. TO ASSURE COMPLIANCE WITH THE PLAN(S), THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER AND THE CONSULTING ENGINEER 48 HOURS IN ADVANCE OF STARTING ANY WORK, CUTTING THE PAVEMENT, BEGINNING THE INSTALLATION OF ANY UTILITIES, BRINGING IN ANY NEW GRAVEL FOR THE NEW BASE, PAVING AND FINAL INSPECTION.
10. THE HORIZONTAL AND VERTICAL SEPARATION FOR SEWER AND WATER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE "TEN STATE STANDARDS - RECOMMENDED STANDARDS FOR WATER."
11. TOPSOIL SHALL BE STOCKPILED, SEEDED, AND MULCHED UNTIL REUSED. HAY BALES SHALL BE PLACED AND STAKED CONTINUOUSLY AROUND THE BOTTOM OF THE TOPSOIL PILES.
12. HEALTHY EXISTING TREES AS SHOWN ON THE SITE PLAN TO BE SAVED SHALL BE PROTECTED BY THE CONTRACTOR.
13. OPEN CUT AREAS SHALL BE MULCHED OUTSIDE OF ACTUAL WORK AREAS, AND HAY BALES SHALL BE EMPLOYED TO CONFINE SHEET WASH AND RUNOFF TO THE IMMEDIATE OPEN AREA AS ORDERED BY THE ENGINEER.
14. AT COMPLETION OF GRADING, SLOPES, DITCHES, AND ALL DISTURBED AREAS SHALL BE SMOOTH AND FREE OF POCKETS WITH SUFFICIENT SLOPE TO ENSURE DRAINAGE.
15. ALL FILL SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR, UNLESS OTHERWISE SPECIFIED.
16. THE CONTRACTOR SHALL INSTALL EROSION CONTROL DEVICES AS NEEDED TO PREVENT SEDIMENTATION. SILT FENCES, DITCHES, AND OTHER EROSION CONTROL DEVICES, SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR AFTER EVERY RAINFALL OF 1/2 INCH OR MORE UNTIL ALL DISTURBED AREAS HAVE BEEN GRASSED AND APPROVED BY THE ENGINEER. THE MAINTENANCE OF THE EROSION CONTROL DEVICES WILL INCLUDE REMOVAL OF ANY ACCUMULATED SEDIMENTATION.
17. THE CONTRACTOR MUST NOTIFY THE TOWN OF ESSEX WATER AND SEWER DEPARTMENT TO HAVE THE EXISTING WATER, SEWER AND STORM INFRASTRUCTURE MARKED PRIOR TO CONSTRUCTION. THESE UTILITIES ARE NOT MARKED BY DIG SAFE.
18. THE CONTRACTOR MUST NOTIFY THE O'LEARY-BURKE CIVIL ASSOCIATES AND THE TOWN OF ESSEX PUBLIC WORKS DEPARTMENT TO HAVE THE WATER AND SEWER SERVICES INSPECTED PRIOR TO BEING BACKFILLED.



SILT FENCE (DOWNSLOPE) AND ORANGE CONSTRUCTION TAPE (UPSLOPE) SHALL BE INSTALLED AROUND THE PERIMETER OF THE SITE PRIOR TO THE START OF CONSTRUCTION & MAINTAINED UNTIL DISTURBED AREAS HAVE BEEN STABILIZED



THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.



DATE 10/25/21	REVISION REVISED PER 10/14/21 PLANNING COMMISSION APPROVAL CONDITIONS	BY DJH
SURVEY	<input type="checkbox"/> RECORD DRAWING	DATE 4/29/21
OTHER	<input checked="" type="checkbox"/> FINAL	JOB# 2011-06
DESIGN	<input type="checkbox"/> PRELIMINARY	FILE 2011-06-56
ED/CA	<input type="checkbox"/> SKETCH/CONCEPT	PLAN SHEET #
DRAWN		2
DJH		
CHECKED		
DWB		
SCALE		
1"=30'		

O'LEARY-BURKE CIVIL ASSOCIATES, P.L.C.

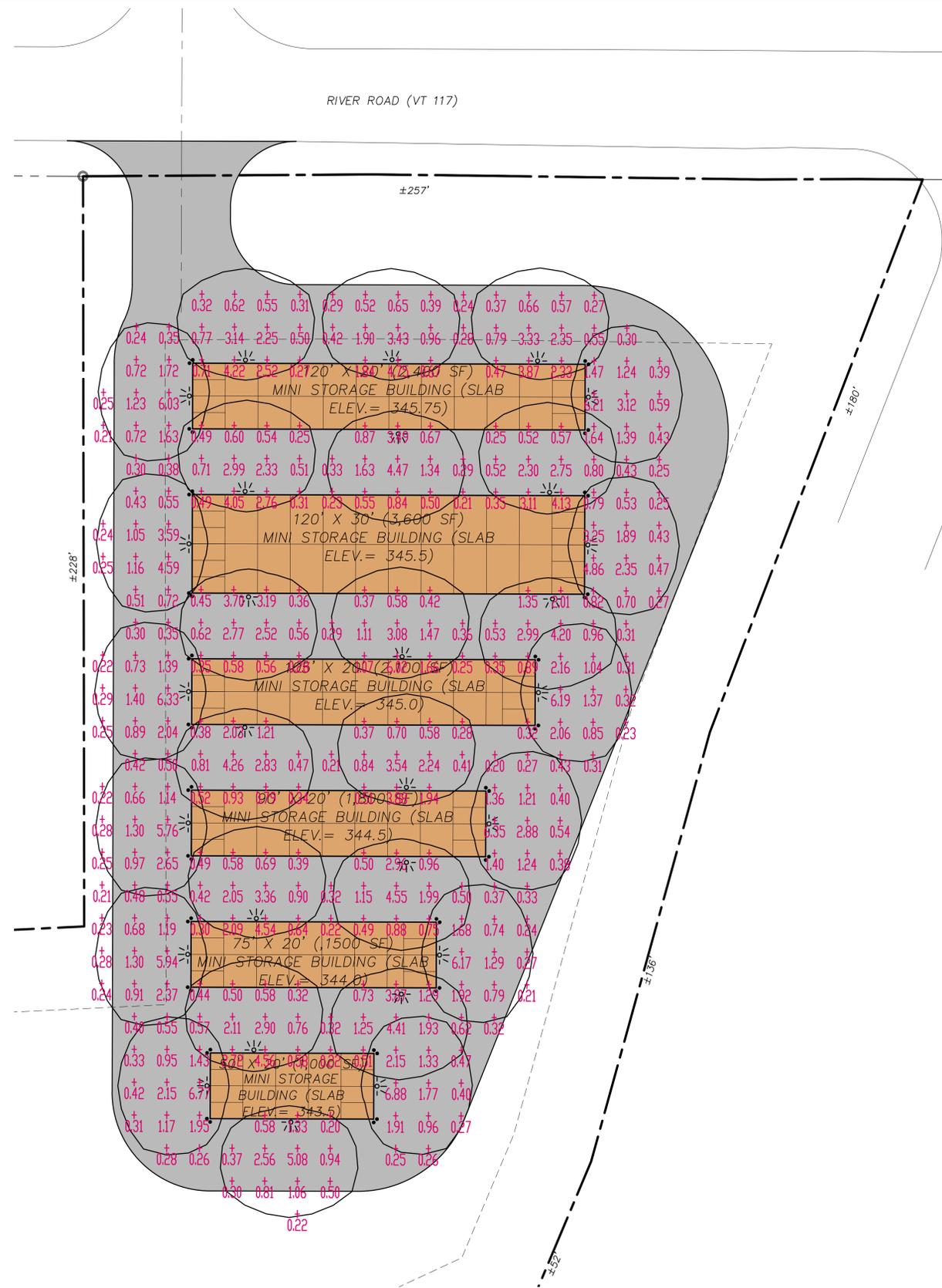
13 CORPORATE DRIVE
ESSEX JCT., VT
PHONE: 878-9580
FAX: 878-9589
E-MAIL: OBCA@OLEARYBURKE.COM

18 RIVER ROAD, LLC

MINI-STORAGE

ESSEX, VT

EXISTING CONDITIONS



WPLED26NMS

RAB



Color: Bronze Weight: 7.5 lbs

Project: _____ Type: _____
 Prepared By: _____ Date: _____

Driver Info		LED Info	
Type	Constant Current	Watts	26W
120V	0.26A	Color Temp	4000K (Neutral)
208V	N/A	Color Accuracy	71 CRI
240V	N/A	L70 Lifespan	100,000 Hours
277V	N/A	Lumens	3,529
Input Watts	29.1W	Efficacy	121.3 lm/W

LEGEND

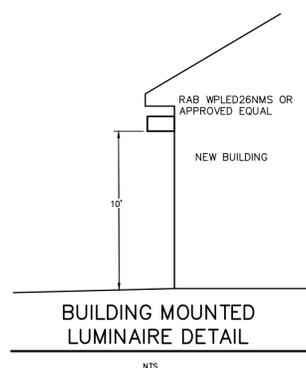
- PROJECT BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- SETBACK
- PROPOSED BUILDING AREA
- PROPOSED LIGHT FIXTURE

Technical Specifications

Performance
 Lifespan: 100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations
 Listings: DLC Listed: This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. DLC Product Code: P0000175P
 LED Characteristics: Color Consistency: 3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Construction
 IP Rating: Ingress Protection rating of IP66 for dust and water
 Optical: BUG Rating: B1 U0 G0
 Other: Equivalency: Equivalent to 150W Metal Halide

Buy American Act Compliance:
 RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be BAA compliant.
 Electrical: THD: 6.94% at 120V, 11.17% at 277V

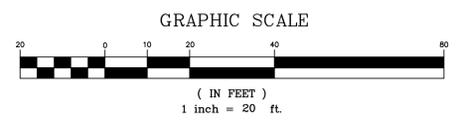


CALCULATION SUMMARY--

AREA NAME	DIMENSIONS	GRID NAME	AVE	MAX	MIN	MAX/MIN	AVE/MIN
SITE PLAN		NEW GRID	<+>	0.92	6.88	0.20	34.4
							4.6

BLDG	TYP	SYMB	DESCRIPTION	LAMP	LUMENS	MOUNTING	LLF	QTY
			RAB WPLED26NMS 10' BUILDING MOUNTED	26W LED	3,529	10' BUILDING MOUNT	.75	28

*NOTES:
 1. ALL LIGHTS SHALL INCLUDE A MOTION SENSOR.
 2. ALL SUBSTITUTIONS SHALL HAVE 26 WATT LED LAMPS & APPROX. 10' BLDG. HEIGHT



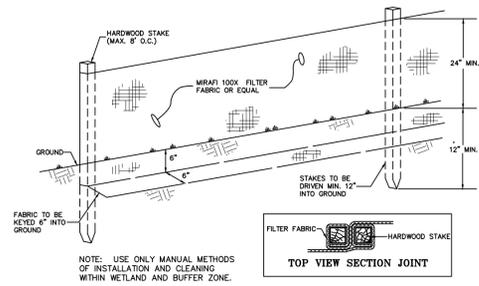
THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.



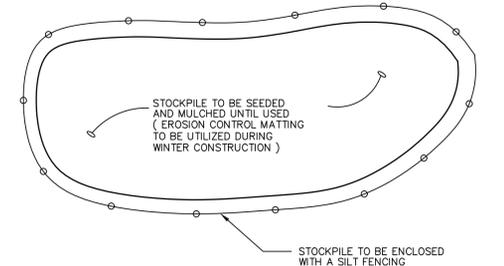
DATE 10/25/21	REVISION REVISED PER 10/14/21 PLANNING COMMISSION APPROVAL CONDITIONS	BY DJH
SURVEY OTHER	<input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> PRELIMINARY	DATE 4/29/21
DESIGN	<input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	JOB# 2011-06
DRCA		FILE 2011-06-56
DRAWN DJH		PLAN SHEET #
CHECKED DWB		
SCALE 1"=20'	O'LEARY-BURKE CIVIL ASSOCIATES, PLC 13 CORPORATE DRIVE ESSEX VCT, VT PHONE: 878-9580 FAX: 878-9589 E-MAIL: OBCA@OLEARYBURKE.COM	18 RIVER ROAD, LLC MINI-STORAGE ESSEX, VT PHOTOMETRIC PLAN
		3

EROSION CONTROL SPECIFICATIONS

- SEE OTHER DRAWINGS OF THESE PLANS FOR ADDITIONAL STORMWATER AND EROSION CONTROL SPECIFICATIONS AND DETAILS.
- THE ROADWAY AND YARD FINISH GRADE SLOPES SHALL NOT BE STEEPER THAN 3 ON 1. THE FINISHED GRADE SLOPES SHALL BE IMMEDIATELY GRADED, SEEDED AND MULCHED.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEEDING AND MULCHING PRIOR TO OCTOBER 1 OF EACH YEAR. ANY DISTURBED AREAS OUTSIDE OF THE ROADWAY SHALL BE IMMEDIATELY SEEDED AND MULCHED WITHIN 14 DAYS OR BY THE REQUIREMENTS OF THE CONSTRUCTION GENERAL PERMIT..
- THE EROSION CONTROL METHODS USED DURING CONSTRUCTION OF THE DEVELOPMENT SHALL PROCEED IN THE FOLLOWING SEQUENCE:
 - THE CONTRACTOR SHALL INSTALL AND MAINTAIN SILT FENCES, CONSTRUCTION ENTRANCE AND OTHER EROSION CONTROL MEASURES, IF REQUIRED, AS ORDERED BY THE ENGINEER. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AFTER EVERY RAINFALL UNTIL THE NEW IMPROVEMENTS ARE PAVED AND ALL DISTURBED AREAS HAVE BEEN GRASSED. THE REPAIR OF THE EROSION CONTROL MEASURES WILL INCLUDE REMOVING ANY SEDIMENTATION. THE SEDIMENT MAY BE PLACED AS FILL IN THE LOW AREAS, IF APPROVED BY THE ENGINEER.
 - THE TOPSOIL SHALL BE REMOVED FROM THE AREAS TO BE GRADED AND STOCKPILED. A SILT FENCE SHALL BE PLACED CONTINUOUSLY AROUND THE BOTTOM OF THE PILE.
 - IN AREAS NEAR THE NEW CONSTRUCTION, THE CONTRACTOR SHALL PROTECT THE TRUNKS OF TREES TO BE SAVED WITH WOODEN SNOW FENCING ALONG THE DRIFLINE TO PROTECT THEM FROM INJURY. IN THESE PROTECTED AREAS NO CONSTRUCTION ACTIVITIES SHALL OCCUR. NO STORAGE OF MATERIALS, RUNNING OF MACHINERY, PORTO-LETS ETC. PLACE STAY OUT SIGNS. THESE INSTRUCTIONS MUST BE CONVEYED TO THE CONSTRUCTION CREW.
 - THE SITE GRADING WILL THEN BE DONE, AND THE PIPELINES WILL BE INSTALLED IMMEDIATELY FOLLOWING GRADING. THE CONTRACTOR WILL INSTALL INLET PROTECTION AROUND THE CATCH BASINS UNTIL THE ROADWAY HAS BEEN PAVED AND GRASS HAS BEEN ESTABLISHED ON THE SLOPES.
 - THE CONTRACTOR WILL TOPSOIL, SEED, AND MULCH THE DISTURBED AREAS AS SOON AS POSSIBLE FOLLOWING COMPLETION OF ADJACENT CONSTRUCTION.

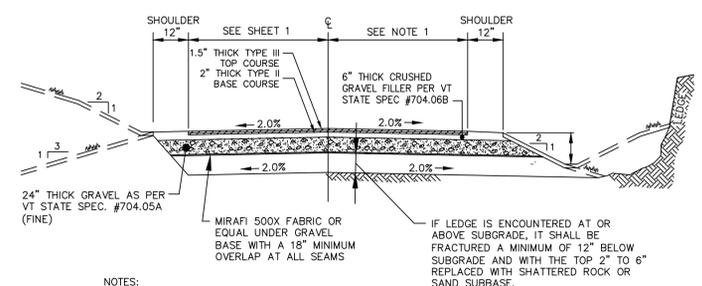


TEMPORARY SILT FENCE
NTS



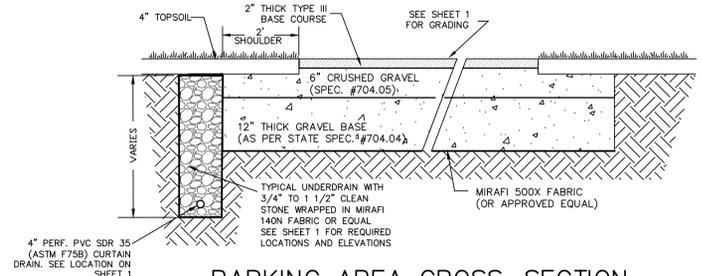
TEMPORARY TOPSOIL STOCKPILE
NTS

- ### WINTER GUIDELINES FOR EROSION PREVENTION & SEDIMENT CONTROL (October 15-APRIL 15)
- ALL DRAINAGE STRUCTURES MUST BE KEPT OPEN AND FREE OF SNOW AND ICE DAMS.
 - ALL SILT FENCE OR OTHER PRACTICES REQUIRING EARTH DISTURBANCE SHALL BE IN PLACE PRIOR TO GROUND FREEZING.
 - WHEN MULCH IS REQUIRED FOR STABILIZATION DOUBLE THE STANDARD RATE SHALL BE APPLIED.
 - TO ENSURE COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL MUST BE STABILIZED AT THE END OF EACH WORK DAY, WITH THE FOLLOWING EXCEPTIONS:
 - IF NO PRECIPITATION WITHIN 24 HOURS IS FORECAST AND WORK WILL RESUME IN THE SAME DISTURBED AREA WITHIN 24 HOURS, DAILY STABILIZATION IS NOT NECESSARY.
 - DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS HOUSE FOUNDATIONS OR OPEN UTILITY TRENCHES.
 - PERFORMING DRILLING AND BLASTING WHERE SITE IS IN A DEPRESSION AND STORMWATER IS TRAPPED.
 - PRIOR TO STABILIZATION SNOW AND ICE MUST BE REMOVED TO DEPTH OF NO LESS THAN 1 IN.
 - ALL DISTURBED AREAS MUST BE SEEDED AND MULCHED WITHIN 48 HOURS OF BEING BROUGHT TO FINISH GRADE.
 - DURING WINTER EROSION, MULCH SHALL BE APPLIED AT DOUBLE THE RATE OR NETTING OR OTHER APPROACH SHALL BE USED TO PREVENT REMOVAL BY WIND.

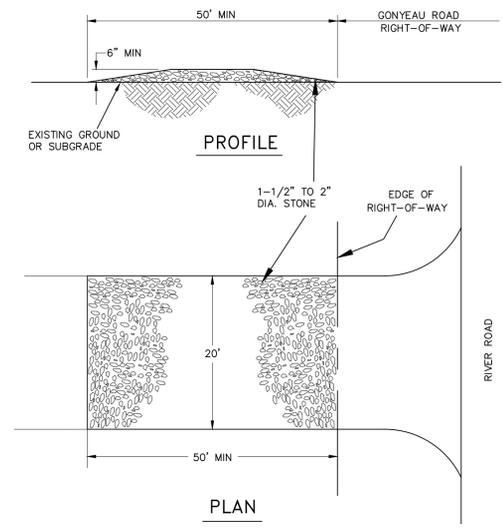


- NOTES:
- INSTALL SURFACE DRAINAGE AS REQUIRED. REFER TO DETAIL 200.06 FOR SPECIFIC INFORMATION REGARDING DRAINAGE.
 - THE DRIVEWAY GRADES SHALL NOT EXCEED 3.0% WITHIN THE FIRST 20' OFF OF THE EDGE OF THE TRAVELED WAY. BEYOND THAT, THE MAXIMUM GRADE SHALL BE 14%.
 - ALL CURB CUT DRIVE APRONS SHALL BE PAVED. FOR DRIVES WITH SIDEWALKS WITHIN THE RIGHT-OF-WAY, THE PAVED APRON SHALL EXTEND 30' BACK FROM THE BACK EDGE OF THE SIDEWALK. FOR DRIVES WITH NO PEDESTRIAN FACILITY, THE APRON SHALL EXTEND 50' FROM THE EDGE OF THE TRAVELED WAY.

DRIVEWAY APRON DETAIL
NTS



PARKING AREA CROSS-SECTION
NTS



- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT TRACKED, SPILLED, OR WASHED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
 - THE USE OF CALCIUM CHLORIDE OR WATER MAY BE NECESSARY TO CONTROL DUST DURING DRY PERIODS.
 - PROVIDE APPROPRIATE TRANSITION BETWEEN CONSTRUCTION ENTRANCE AND EDGE OF RIGHT-OF-WAY.

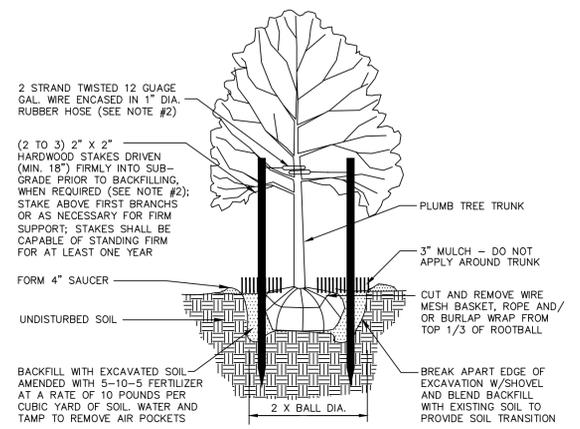
CONSTRUCTION ENTRANCE
NTS

LANDSCAPING SPECIFICATIONS

ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEEDING AND MULCHING PRIOR TO NOVEMBER 1 OF EACH YEAR. ANY DISTURBED AREAS SHALL BE IMMEDIATELY SEEDED AND MULCHED WITHIN 15 DAYS. ANY WORK PERFORMED AFTER NOVEMBER 1 OF EACH YEAR SHALL BE STABILIZED WITH MULCH OR NETTING SUFFICIENT TO PREVENT EROSION AND SHALL BE IMMEDIATELY SEEDED AND REMULCHED AS SOON AS WEATHER PERMITS IN THE SPRING. ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL AND BE SEEDED, FERTILIZED, LIMED, AND MULCHED IN ACCORDANCE WITH THE FOLLOWING:

- SEED MIXTURE IN ALL AREAS SHALL BE URBAN MIX CONFORMING TO THE TABLE SHOWN ON THE PLANS. FOR SEEDING BETWEEN SEPTEMBER 1 AND NOVEMBER 1, WINTER RYE SHALL BE USED AT AN APPLICATION RATE OF 100 POUNDS PER ACRE.
- FERTILIZER SHALL BE STANDARD COMMERCIAL GRADE CONFORMING TO THE STATE FERTILIZER LAW AND TO THE STANDARDS OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS. DRY FERTILIZERS, IF USED, SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE. LIQUID FERTILIZERS, IF USED, SHALL BE APPLIED IN A 1-2-1 RATIO WITH THE MINIMUM RATE TO INCLUDE 100 POUNDS OF NITROGEN, 200 POUNDS OF PHOSPHATE, AND 100 POUNDS OF POTASH PER ACRE.
- LIMESTONE SHALL CONFORM TO ALL STATE AND FEDERAL REGULATIONS AND TO THE STANDARDS OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS. THE LIMESTONE SHALL BE APPLIED AT A RATE OF TWO TONS PER ACRE OR AS DIRECTED.
- WITHIN 24 HOURS OF APPLICATION OF FERTILIZER, LIME, AND SEED, THE SURFACE SHALL BE MULCHED WITH A HAY MULCH. MULCH SHALL BE SPREAD UNIFORMLY OVER THE AREA AT A RATE OF TWO TONS PER ACRE OR AS ORDERED BY THE ENGINEER.

URBAN MIX GRASS SEED		
% BY WEIGHT	LBS LIVE SEED PER ACRE	TYPE OF SEED
37.5	45	CREeping RED FESCUE
37.25	37.5	KENTUCKY BLUEGRASS
31.25	37.5	WINTER HARDY, PERENNIAL RYE
100	120 # LIVE SEED PER ACRE	



TREE PLANTING
NTS

- NOTE:
- PLANT TREE SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.
 - STAKING AS REQUIRED ONLY IN SITUATIONS WHERE TREES WILL BE SUBJECTED TO WINDY CONDITIONS AS DETERMINED BY THE PROJECT ENGINEER.
 - TREES SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AFTER PLANTING.
 - EXAMINE ENTIRE TREE AND REMOVE ALL NURSERY TAGS, ROPE, STRING AND SURVEYOR TAPE PRIOR TO PLANTING TO PREVENT GIRDLING.

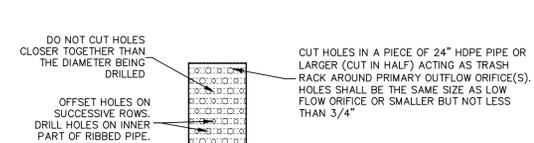
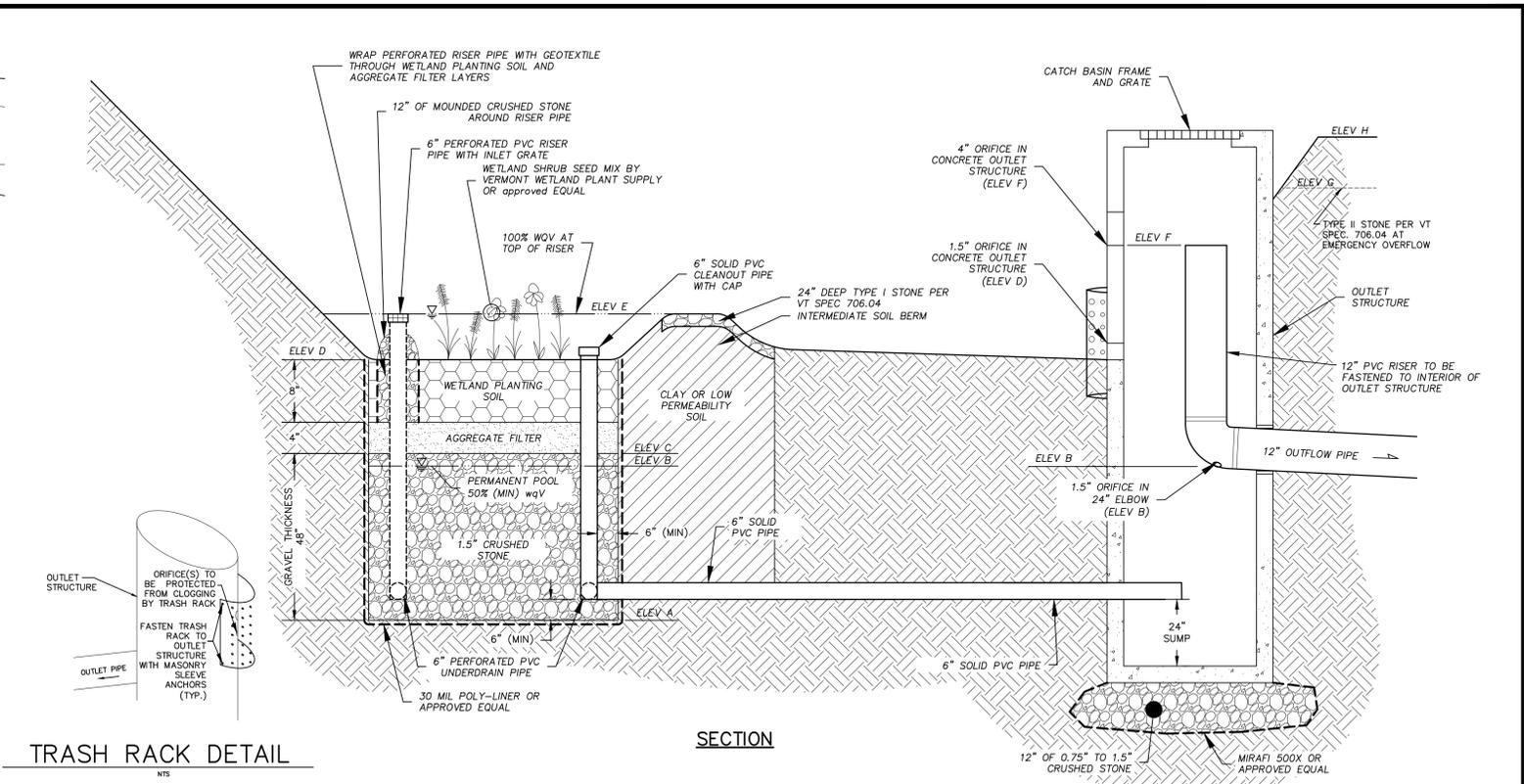
THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.



DATE 3/21/22	REVISION REVISED DRIVEWAY APRON DETAIL PER VILLAGE ENGINEER COMMENTS	BY DJH
DATE 10/25/21	REVISION REVISED PER 10/14/21 PLANNING COMMISSION APPROVAL CONDITIONS	BY DJH
SURVEY OTHER	<input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> PRELIMINARY	DATE 4/29/21
DESIGN	<input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	JOB# 2011-06
DESIGNER DJH		FILE 2011-06-56
CHECKED DJH		PLAN SHEET #
SCALE N.T.S.		4

O'LEARY-BURKE CIVIL ASSOCIATES, PLLC
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E-MAIL: OBC@OLEARYBURKE.COM

18 RIVER ROAD, LLC
MINI-STORAGE
ESSEX, VT
DETAILS & SPECIFICATIONS

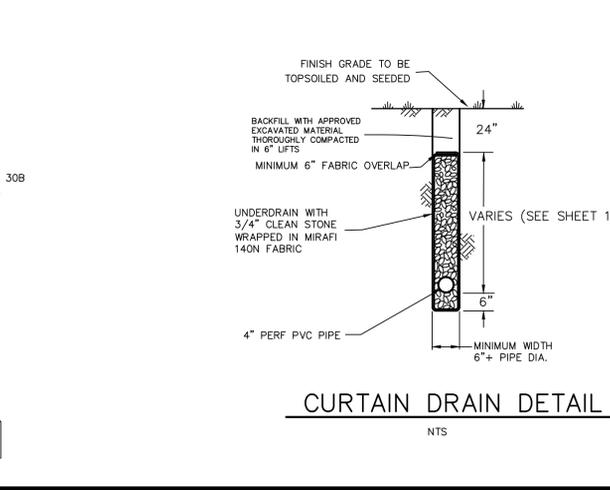
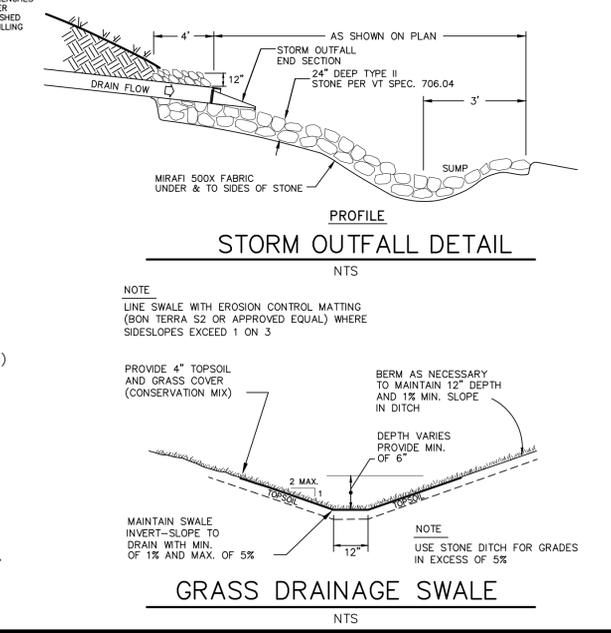
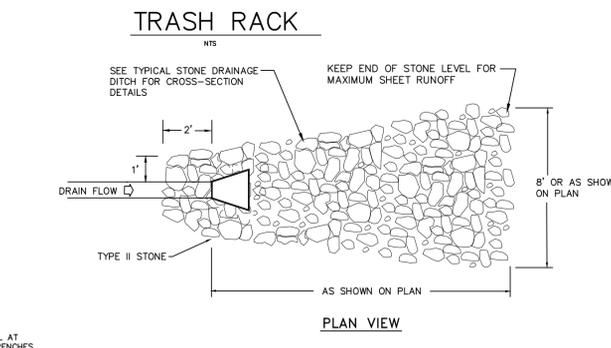
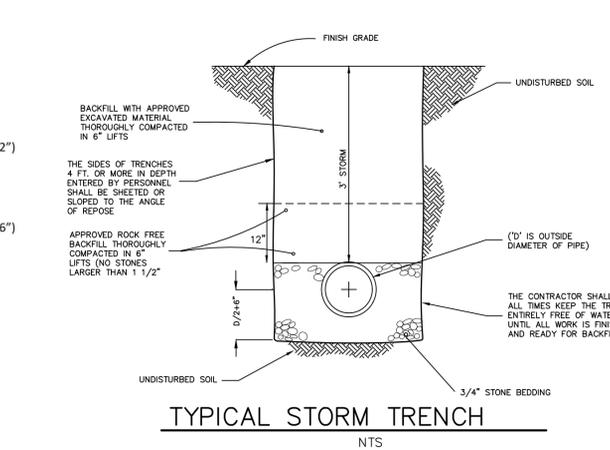
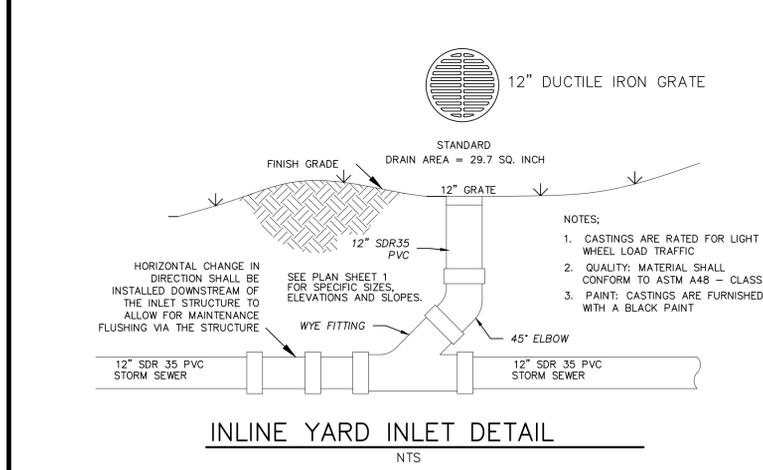


ITEM	GRAVEL WETLAND / DRY POND	DESCRIPTION
NO. CELLS	1	NUMBER OF CELLS
LENGTH	SEE SITE PLAN	LENGTH OF EACH CELL AT BOTTOM
WIDTH	SEE SITE PLAN	WIDTH OF EACH CELL AT BOTTOM
SIDE SLOPES	3H:1V	SIDE SLOPES OF CELLS
GRAVEL THICKNESS	48"	THICKNESS OF GRAVEL
ELEV A	334.0	BOTTOM OF GRAVEL
ELEV B	337.5	1.5" ORIFICE IN 24" PVC ELBOW / 12" SDR35 PVC POND OUTFALL
ELEV C	338.0	TOP OF GRAVEL
ELEV D	339.0	GRAVEL WETLAND OPEN BAY / 1.5" ORIFICE IN OUTLET STRUCTURE / BOTTOM OF DRY POND
ELEV E	340.0	TOP OF GRAVEL WETLAND BERM
ELEV F	340.1	4.0" ORIFICE IN OUTLET STRUCTURE / TOP OF 12" SDR35 PVC RISER
ELEV G	340.6	EMERGENCY OVERFLOW (2' WIDE X 10' LONG)
ELEV H	341.0	TOP OF POND

SOIL TEST PIT LOGS By: David Burke Method: Excavator Others Present: Daniel Heil

Job Number / Name: 2011-06; Crete Date / Weather: October 21, 2020 / 50 degrees, Overcast

Test	Depth	Color	Texture	Structure	Consistence	Water	Ledge	Redox
TP-1	0 - 6"	10YR 4/3 (BROWN)	L	GR	L			
	6 - 14"	10YR 5/6 (YELLOWISH BROWN)	FS	GR	L			
	14 - 36"	10YR 5/2 (GRAYISH BROWN)	FS	GR	VFR			
	36 - 42"	10YR 5/3 (BROWN)	S	SG	L			(MANGANESE/SHGW @ 42")
	42 - 66"	10YR 5/1 (GRAY)	SIL	MA	FR			NONE
TP-2	0 - 11"	10YR 4/3 (BROWN)	L	GR	L			
	11 - 18"	10YR 5/6 (YELLOWISH BROWN)	FS	GR	L			(MANGANESE/SHGW @ 46")
	18 - 62"	10YR 6/3 (DRK YLW BROWN)	S	SG	L			58" NONE
TP-3	0 - 7"	10YR 4/3 (BROWN)	L	GR	L			
	7 - 33"	10YR 5/2 (GRAYISH BROWN)	S	SG	L			
	33 - 48"	10YR 5/1 (GRAY)	SIL	MA	FR			NONE NONE 26"



STORM SYSTEM MAINTENANCE

MAINTENANCE PLAN

SYSTEM MAINTENANCE IS IMPORTANT FOR TREATMENT AND CONTROL OF STORM RUNOFF FROM THE IMPERVIOUS SURFACES (STORAGE AREA). THE FOLLOWING ELEMENTS FORM THE MINIMUM REQUIREMENTS:

- THE OWNER (OR REPRESENTATIVE) SHALL PERFORM INSPECTIONS BI-ANNUALLY AND FOLLOWING SIGNIFICANT (LARGE) STORM EVENTS. THE FOLLOWING ITEMS SHALL BE REVIEWED: CONDITION OF THE VEGETATION, CONDITION OF THE DITCH SURFACES, DEPTH OF ACCUMULATED SEDIMENT (IF ANY), THE PRESENCE OF EROSION (IF ANY), CONDITION OF THE STORM PIPES, AND THE CONDITION OF THE PIPE INLETS AND OUTLETS. ANY OBSERVABLE DEGRADATION OF THE STORM SYSTEM SHALL BE NOTED.
- THE OWNER (OR REPRESENTATIVE) SHALL COMPLETE REPAIR OF ANY ITEMS, AS REQUIRED TO MAINTAIN OPTIMAL SYSTEM OPERATION. AT A MINIMUM, THE FOLLOWING ITEMS SHALL BE INCLUDED:
 - ANY EROSION GULLIES 6 INCHES OR DEEPER SHALL BE FILLED AND VEGETATION ESTABLISHED IN THE DISTURBED AREA.
 - SEDIMENT ACCUMULATED TO A DEPTH OF MORE THAN 6 INCHES IN THE DRAINAGE SWALES SHALL BE REMOVED AND DISPOSED OF IN AN UPLAND AREA THAT IS NOT WITHIN 100 FEET OF WATERS OF THE STATE. VEGETATION SHALL BE ESTABLISHED IN ALL DISTURBED AREAS.
 - VEGETATION SHALL BE ESTABLISHED AS NEEDED, IN AREAS OF BARE SOIL. THIS IS PARTICULARLY IMPORTANT IN FLOW AREAS WHERE VEGETATION PROVIDES SEDIMENT REMOVAL.
 - SILT FENCES SHALL BE USED IF NEEDED TO PREVENT EROSION AND AID IN THE ESTABLISHMENT OF VEGETATION. THESE TEMPORARY MEASURES SHALL BE REMOVED AFTER THE SITE IS STABILIZED AND THE RISK OF EROSION IS REDUCED.
 - THE GRASSED AREAS SHALL BE MOWED AS NEEDED TO PREVENT THE ESTABLISHMENT OF WOODY VEGETATION.
- THE OWNER SHALL MECHANICALLY SWEEP AND REMOVE SEDIMENTS IN THE ROADWAY AREAS A MINIMUM OF ONCE PER YEAR PRIOR TO MAY 15TH.



DATE: 10/25/21	REVISION: REVISED PER 10/14/21 PLANNING COMMISSION APPROVAL CONDITIONS	BY: DJH
DATE: 9/17/21	REVISION: REVISED CURTAIN DRAIN DETAIL	DATE: 4/29/21
SURVEY: OTHER	RECORD DRAWING	DATE: 2011-06
DESIGN: OBCA	PRELIMINARY	FILE: 2011-06-56
DRAWN: DJH	SKETCH/CONCEPT	PLAN SHEET #
CHECKED: DJH		
SCALE: N/A		
O'LEARY-BURKE CIVIL ASSOCIATES, PLLC 13 CORPORATE DRIVE ESSEX, VT 05733 PHONE: 878-9590 FAX: 878-9589 EMAIL: OBCA@OLEARYBURKE.COM		18 RIVER ROAD, LLC MINI-STORAGE ESSEX, VT STORMWATER MANAGEMENT PLAN 5