

Appeal Period Expires 10/25/18
 Zoning District 2

Town of Essex, Vermont
Application for Zoning Permit
 www.essex.org

Application Date 1/1
 Permit Number 2018-213

All construction is to be completed in accordance with the Town of Essex Zoning Regulations and any/all federal or state regulations now in effect. You are required to post this permit in a conspicuous location on the property during the appeal period and it must remain posted throughout the construction period. You are required to contact the necessary state agencies to obtain state permits @ 477-2241 (Jeff McMahon, Permit Specialist).

Any interested person may appeal the decision of the Zoning Administrator to the Zoning Board of Adjustment within fifteen (15) days of the permit's date of issuance. Commencing construction within this fifteen (15) day appeal period is prohibited by law.

Signed: Thomas & Chane, Partner

A Parcel Account Numb. (Map-Parcel-Lot) 2-051-014-005
 (found in Town Assessor's Office)
 Property Address: 48 CHASE COURT
 Owner: JRA ASSOCIATES (Tom Chase)
 Owner Address: 66 Boudoin St., So. Burlington, VT 05403
 Owner Phone: (work) 802-658-6520 (home) _____
 (cell) 802-316-9537 (Email) T.Chase@Noahs9.com
 Contractors name: Neagle & Chase Const, Phone: 802-658-6326
 Cell: 802-316-9537
 Estimated Construction Dates: Start: 10/15/18 Completion: 06/15/19
 Sq. Feet: 2029 Estimated Cost (labor & materials): \$200,000

B Sewage Disposal (Please attach Sewer or Septic Application).
 Public Private Connection Fee \$ 2442⁰⁰ Date Paid: 9/20/18
 Proposed New Bedrooms: 3 Existing Bedrooms _____

C Water (Please attach Water Service Application).
 Public Private Fee \$ 1802²⁵ Date Paid: 9/20/18

D Driveway (Please attach copy of approved Curbcut / Utility Application).
 Date of approval 11/9/18 attached

E Stormwater
 Project disturbs an area greater than or equal to 1 acre – Erosion Control Permit Required. Attach completed permit application.
 Project creates new or expands existing impervious surface greater than or equal to 1/2 acre – Erosion Control Permit and Stormwater Management Permit required. Attach completed permit application.

F Diagram – Show a sketch of project on reverse of this application with property lines, building, and setbacks or attach separate sheet.

G To be constructed pursuant to Planning Commission Approval # PC: 2017-27.
 Signature of Tenant and Signature of Owner Thomas & Chane, Partner

G

Check box(es) which describe proposed use or construction (circle choice in parenthesis).
 N = New A = Addition R = Remodel

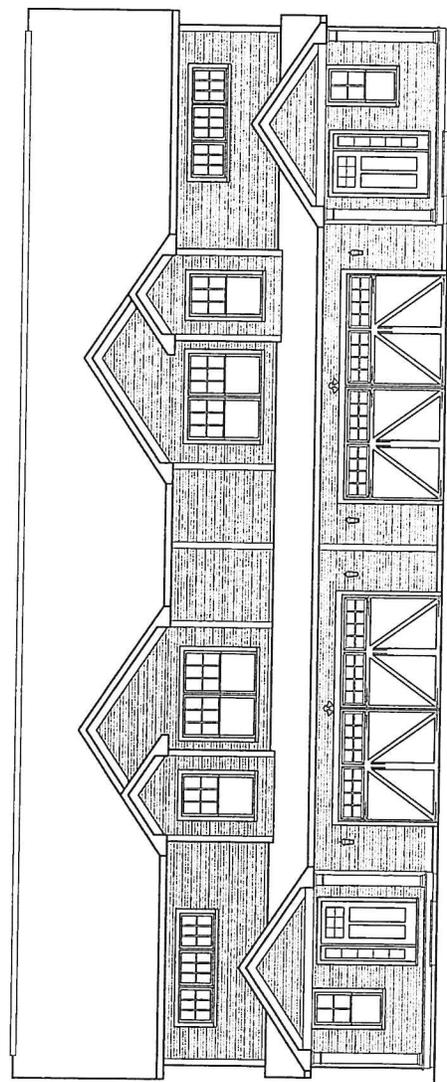
Residential:	N	A	R
Single Family	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Two-family (duplex)(other)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Multi-family <u>unfinished Base</u>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Condominium / <u>Townhouse</u> <u>ment</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mobile home	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Inclusions or Additions: <u>2 Car</u>			
Garage (<u>attached</u>) (detached)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Porch (enclosed)(<u>open</u>)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>Deck</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pool (in) (above) ground	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Shed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Barn (residential) (agriculture)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Non-residential:			
Commercial / Industrial	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Stormwater:			
Stormwater	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Erosion Control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other:			
Change in use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Miscellaneous	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Renewal	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Office Use Only

Fees:	Type	Amount	Date Pd
Permit		\$ <u>500.00</u>	<u>9/29/18</u>
Recreation		\$ <u>473.00</u>	<u>1/1</u>
Recording		\$ <u>20.00</u>	<u>1/1</u>
Certificate of Occ		\$ <u>75.00</u>	<u>1/1</u>
Other		\$ _____	<u>1/1</u>

Building Permit
 Approved Rejected Date 10/10/18
 Issued to: Sancho Pons Associates
 Zoning Administrator: Shawn L. Kelley
 Notes: RBS into gilver

C.O. Required Yes No



48 & 54 CHASE COURT

ESSEX, VERMONT

DATE: 09-19-18

INDEX OF DRAWINGS

CIVIL DRAWING

SHT 1 SITE PLAN

ARCHITECTURAL DRAWINGS:

- A01 PROJECT INFORMATION
- A02 FIRST FLOOR PLAN
- A03 SECOND FLOOR PLAN
- A04 ROOF & DETAILS PLAN
- A05 ELEVATIONS
- A06 SECTIONS & WINDOW SCHEDULE
- A07 WALL SECTIONS & DETAILS
- A08 WINDOW SCHEDULE & DETAILS
- A09 FIRST & SECOND ELECTRICAL PLAN

STRUCTURAL DRAWINGS:

- S1 FOUNDATION PLANS & DETAILS
- S2 FIRST FLOOR FRAMING
- S3 SECOND FLOOR FRAMING PLAN
- S4 CONSTRUCTION NOTES

ARCHITECT:
 Innovative Design Inc.
 8 Carmichael Street, Suite 104
 Essex Jct., Vermont 05452

STRUCTURAL ENGINEER:
 J. Ira Hlebeky Structural Eng. Inc.
 10 Athens Drive
 Essex Junction, Vt. 05452

BUILDER:
 Neagley & Chase Construction Co.
 46 Bouldon St.
 South Burlington, Vt. 05403



LOCATION PLAN
N.T.S.

ZONING INFORMATION
 PARCEL INFO: JERICHO ROAD ASSOCIATES
 RESOURCE PROTECTION DISTRICT RPD-1
 PLANNED RESIDENTIAL UNIT DEVELOPMENT (R-1)
 DIMENSIONAL REQUIREMENTS

DIMENSIONAL REQUIREMENTS	
WETLANDS	IN 50' BUFFER
FRONT YARD	IN 30'
SIDE YARD	IN 30'
REAR YARD	IN 15'

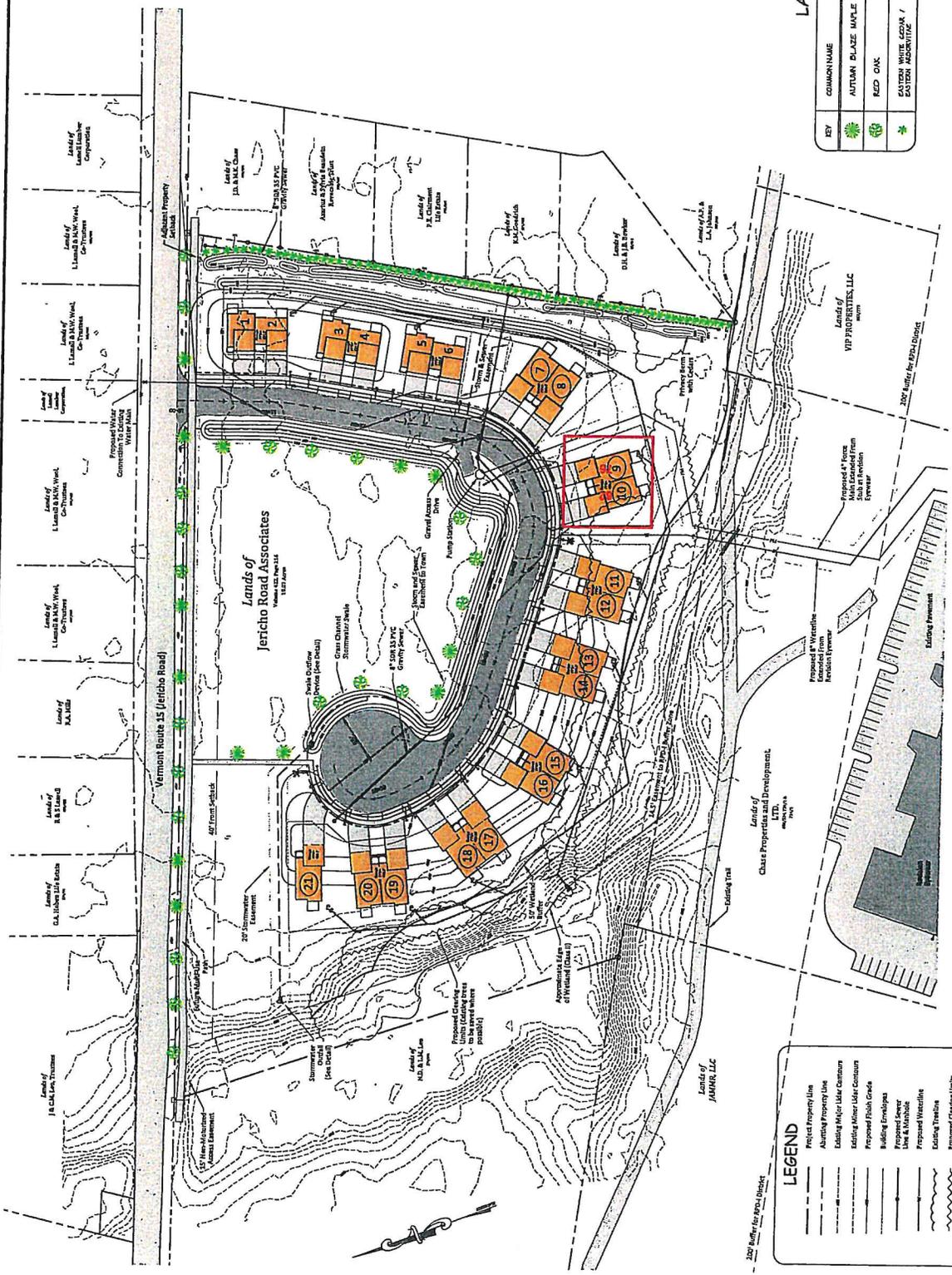
IN AS APPROVED BY PLANNING COMMISSION COVERAGE
 TOTAL LOT AREA = 8023 ACRES
 MAXIMUM ALLOWED COVERAGE = FUD-R APPLIES

DENSITY CALCULATION

AREA OF PAVES = 45,000 SF
 LESS WETLAND AREA = -10,000 SF
 LESS GREATER THAN 30% SLOPES = -10,000 SF
 LESS RIGHT OF WAY AREA = -3,000 SF
 NET AREA = 34,000 SF
 34,000 SF / 200,000 SF = 17.22 UNITS
 WITH 20% BUFFER, ALLOWABLE UNITS = 21

LANDSCAPE PLANT LIST

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE	REMARKS
1	AUTUMN PLUMBLE MAPLE	ACER FREEMANII	13	2 1/2" - 3"	D + D
2	BIRD OAK	QUERCUS RUBRA	20	2 1/2" - 3"	D + D
3	DAYTON WHITE CEDAR / EASTON ADOBESITIC	THALIA OCCIDENTALIS	1	2 1/2" - 3"	D + D

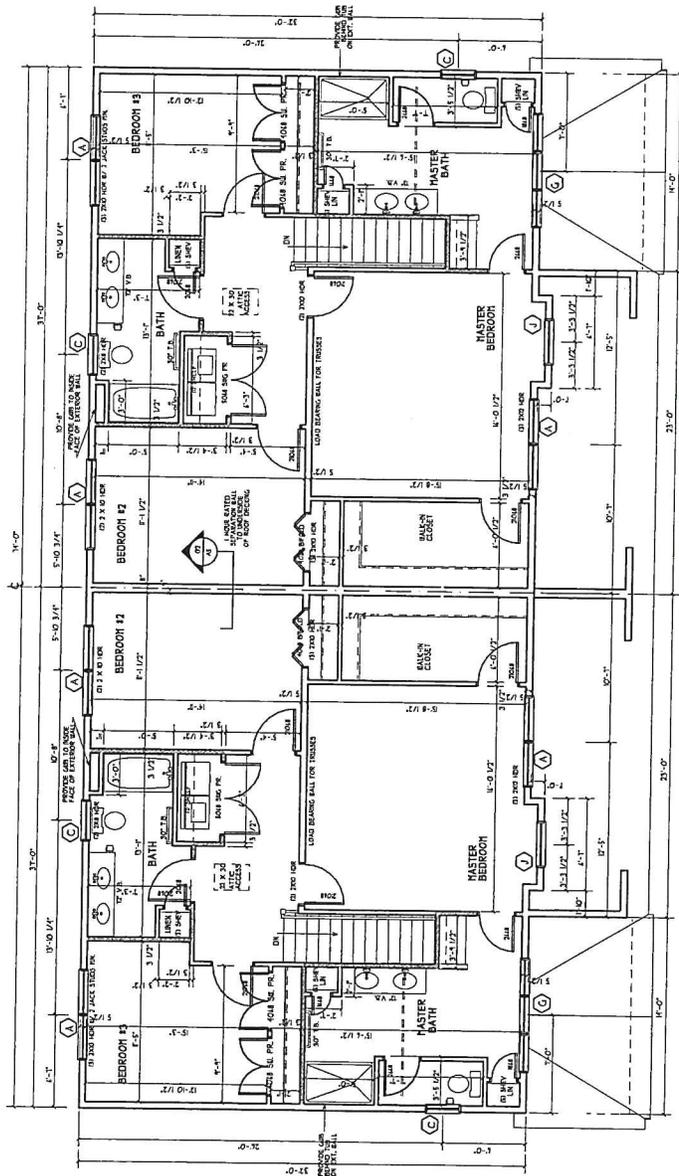


LEGEND

- Project Property Line
- Abutting Property Line
- Existing Major Water Course
- Proposed Final Road Grade
- Building Footprints
- Proposed Sewer Line & Manhole
- Proposed Vastfills
- Existing Trenches
- Proposed Clearing Limits
- Concrete Monument Found
- Iron Pipe Found
- Abutment Found
- Utility Pole



200' Buffer for RPD-1 District



UNIT #54

UNIT #48

SECOND FLOOR PLAN
1/4" = 1'-0"

Project Name:
JERICHO ROAD ASSOCIATES
48 & 54 CHASE COURT
ESSEX, Vermont

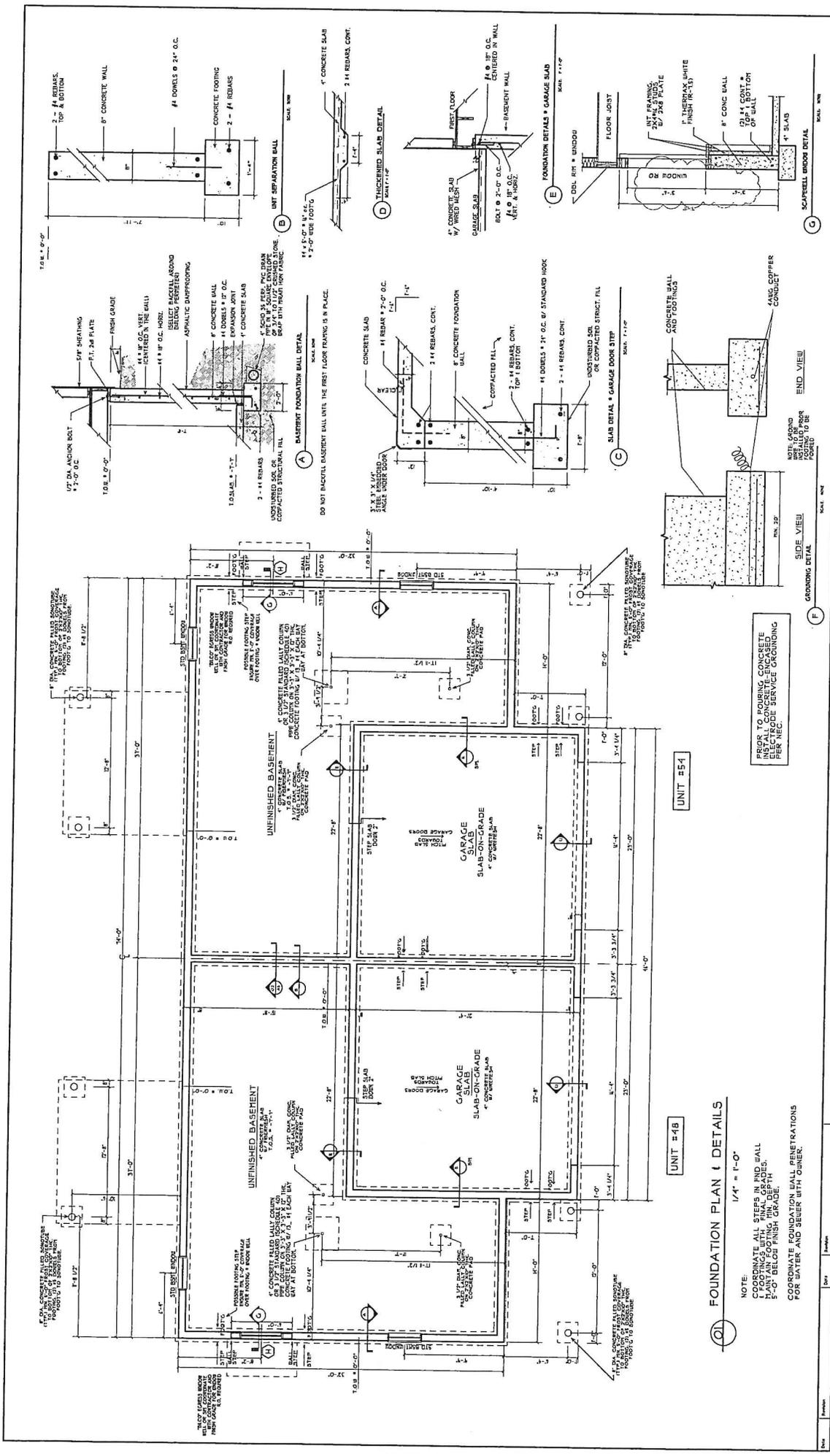
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SECOND FLOOR PLAN

Sheet Number:
A1.2

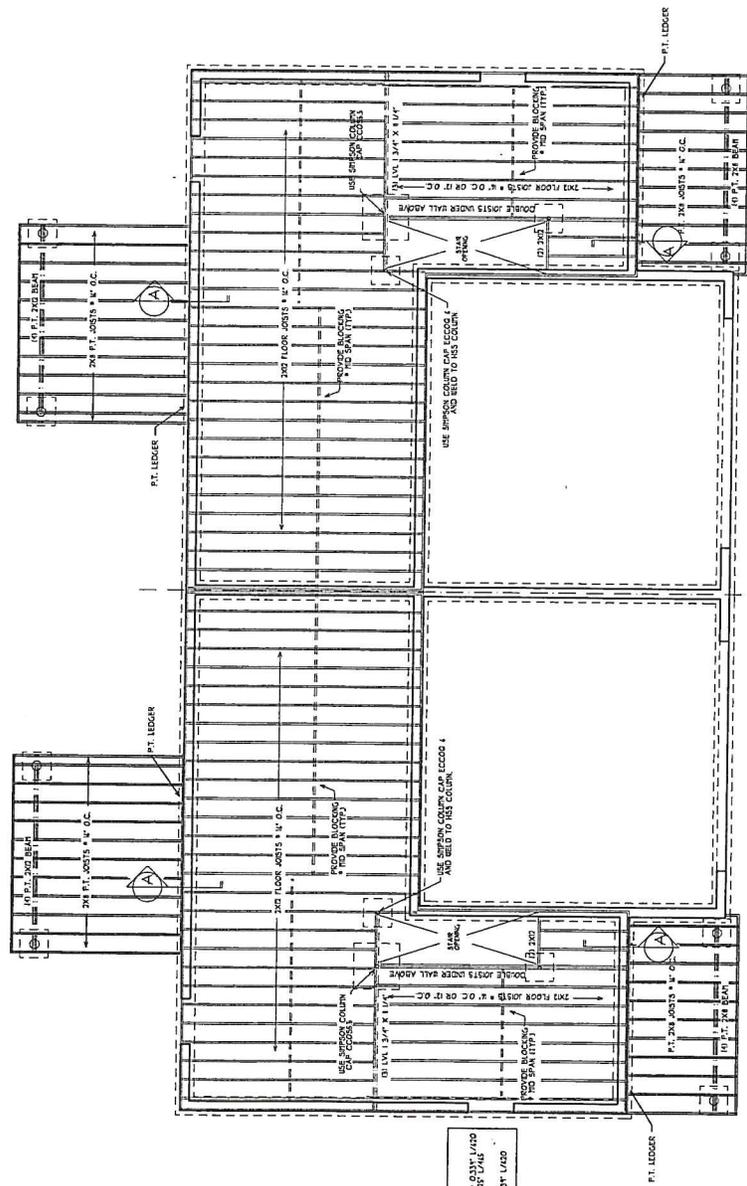
DATE: 07-11-18
Scale: 1/4" = 1'-0"
Drawn By:
File Name:

INNOVATIVE DESIGN, INC.
8 CARROLL STREET, SUITE 104
PO BOX 407, FRIEBUS, VT 05452
Phone: 802-885-9277
Fax: 802-885-9277

Sheet	Revision	Date	Author



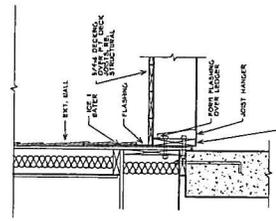
	INNOVATIVE DESIGN, INC. 8 CARMICHAEL STREET, SUITE 104 FARMINGTON, CT 06032 PHONE: (860) 271-1010 FAX: (860) 271-1011	Project Name: JERICHO ROAD ASSOCIATES 48 & 54 CHASE COURT Vertical	Sheet Number: S1
Date: 01-19-18	Scale: 1/4" = 1'-0"	Drawn By: EBBEL	Date: 01-19-18
FOUNDATION PLANS & DETAILS			



UNIT #48

FIRST FLOOR FRAMING
1/4" = 1'-0"

UNIT #54



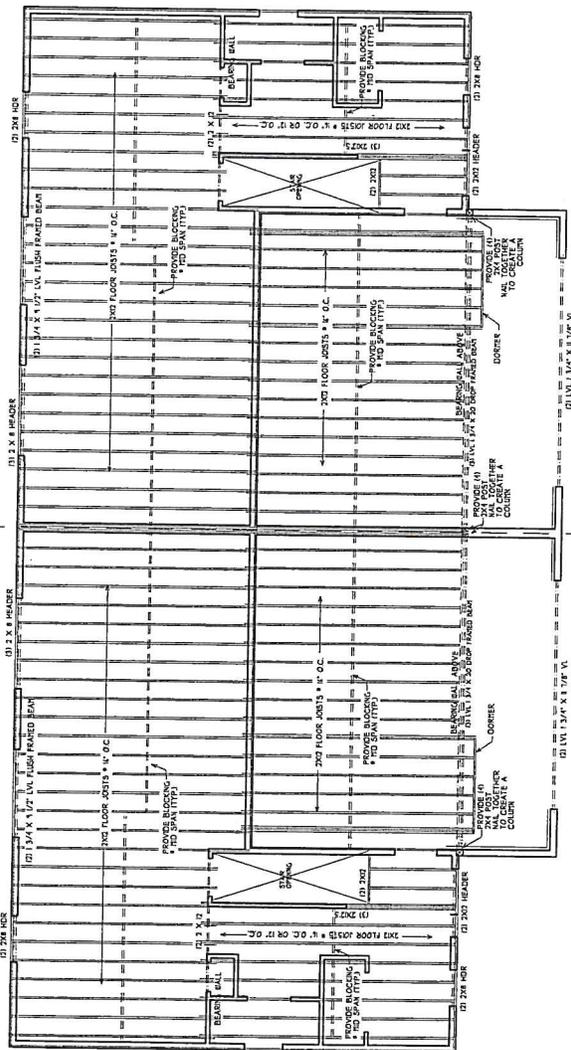
A DECK DETAIL
N.T.S.

ALL FASTENERS FOR DECK LANE RAILINGS ARE VINYL.
ALL FASTENERS FOR JOIST HANGERS GALVANIZED. JOISTS ARE LAGGED WITH NOT DETERMINED GALVANIZED JOISTS.

SEE FOUNDATION PLAN FOR FOUNDATION LOCATIONS

JOIST CLEAR SPAN 17'-4"
2X8 @ 16" O.C. BEARING AREA = 0.317' x 17.0'
LI. BEAR. FOR LONG AREA = 4.2' x 17.4'
2X8 @ 16" O.C. LONG AREA = 3.1' x 17.0'

Project Name JERICO ROAD ASSOCIATES #18 & 54 CHASE COURT Essex, Vermont		Sheet Number S2
Date 01-11-18	Scale 1/4" = 1'-0"	Drawn By [Signature]
Checked By [Signature]	Title FIRST FLOOR FRAMING PLAN	Project Location VERMONT
INNOVATIVE DESIGN, INC. 100 WASHINGTON STREET, SUITE 104 ESSEX, VT, 05433 PHONE (802) 897-8300 FAX (802) 897-8300 Email: info@innovativedesign.com		



2007 CLEAR SPAN 17'-4"
 11' 0" CLEAR SLEEPING AREA - 0.31' L/120
 11' 0" CLEAR SLEEPING AREA - 0.51' L/146
 203' ± 2" CLEAR LIVING AREA - 31' L/120

UNIT #48

02 SECOND FLOOR FRAMING
 1/4" = 1'-0"

UNIT #54

Date	Revision	By	Checked



INNOVATIVE DESIGN, INC.
 8 COMMERCIAL CENTER DRIVE, SUITE 104
 ESSEX, VT, 05452
 TEL: (802) 897-4300
 FAX: (802) 897-4300
 URL: www.innovativeid.com

Date: 01-19-18
 Scale: 1/4" = 1'-0"
 Drawn By:
 File Name:

Project Name:
JERICHO ROAD ASSOCIATES
48 & 54 CHASE COURT
 Essex, Vermont
 Sheet Title:
SECOND FLOOR FRAMING PLAN

Sheet Number:

S2.1

CONCRETE NOTES

1. ALL CONCRETE SHALL BE PLACED IN THE PRESENCE OF A QUALIFIED CONCRETE TECHNICIAN AND SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE FOLLOWING NOTES.
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WOOD CONSTRUCTION NOTES

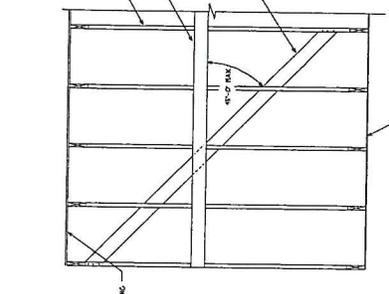
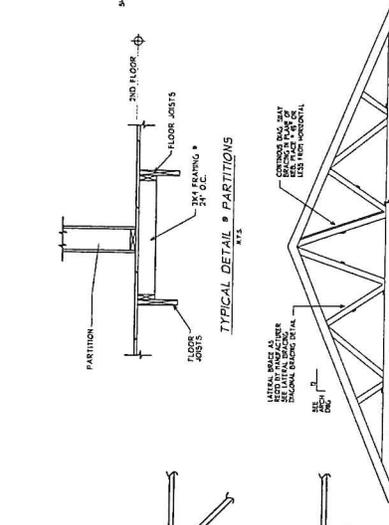
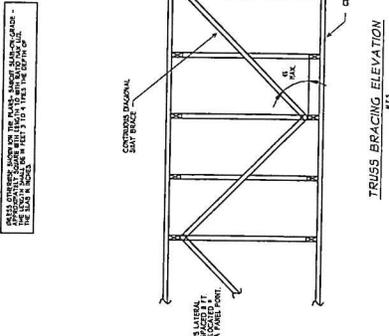
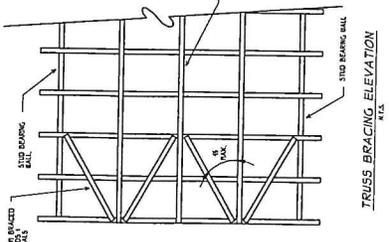
1. ALL WOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.
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WOOD TRUSS NOTES

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10. ALL WOOD TRUSS CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES.

COLD WEATHER CONDITIONS

1. IN CASE OF COLD WEATHER CONDITIONS, THE CONTRACTOR SHALL TAKE THE FOLLOWING PRECAUTIONS:
2. THE CONTRACTOR SHALL TAKE THE FOLLOWING PRECAUTIONS:
3. THE CONTRACTOR SHALL TAKE THE FOLLOWING PRECAUTIONS:
4. THE CONTRACTOR SHALL TAKE THE FOLLOWING PRECAUTIONS:
5. THE CONTRACTOR SHALL TAKE THE FOLLOWING PRECAUTIONS:
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8. THE CONTRACTOR SHALL TAKE THE FOLLOWING PRECAUTIONS:
9. THE CONTRACTOR SHALL TAKE THE FOLLOWING PRECAUTIONS:
10. THE CONTRACTOR SHALL TAKE THE FOLLOWING PRECAUTIONS:



Date	Revision

Project Name: **JERICHO ROAD ASSOCIATES**
48 t 54 CHASE COURT
 Essex, Vermont

Sheet Title: **CONSTRUCTION NOTES**

Date: **08-10-17**
 Scale: **1/4" = 1'-0"**
 Drawn by: **[Name]**
 P.L. Name: **[Name]**

Innovative Design, Inc.
 8 CARROLL STREET, SUITE 104
 FERRISBURGH, VT 05742
 Phone: (802) 442-4422
 Fax: (802) 442-4422

Sheet Number: **S3**

Received

OCT 01 2018

Public Works

TOWN OF ESSEX, VERMONT
APPLICATION FOR CURB CUT / UTILITY PERMIT

Pursuant to Title 19 V.S.A. Section 43. Application for curb cut and Utility Installation in Town Right-of-Way

All applications for curb cuts and utility installations shall be submitted to the Director of Public Works / Town Engineer for review. Applicants shall submit the information requested on this form and any additional information requested by the Director of Public Works / Town Engineer for a clear understanding of this application. The permit is issued under authority of the Town Manager in accordance with Section 601 of the Town Charter and 24 V.S.A. paragraph 1236 (2).

Application No. _____ / 09/27/18
Date

Property Address: 48 CHASE COURT

Owner Address: 66 Bowdoin St., Ste 100, South Burlington, VT 05403

Owner Name: RA ASSOCIATES

Phone Number: (home) _____ (work) 802-658-6320 (cell) 502-316-9537

Tax Map # 051 Tax Parcel 014 Tax Lot 005

Application is for: (check one)

A) New Curb Cut B) Utility Installation: Overhead Underground

Please use attached diagram to describe location and type of installation.

Comments be Director of Public Works / Town Engineer:

Culvert: Yes No Water Bar(s): Yes No

Culvert Diameter: (18 Inch minimum) _____ Total length of Culvert: (30 foot minimum) _____

Signature of Owner:

Shombo E. Chase, Partner

FOR OFFICE USE ONLY

Fee Paid \$ _____
Approved Rejected

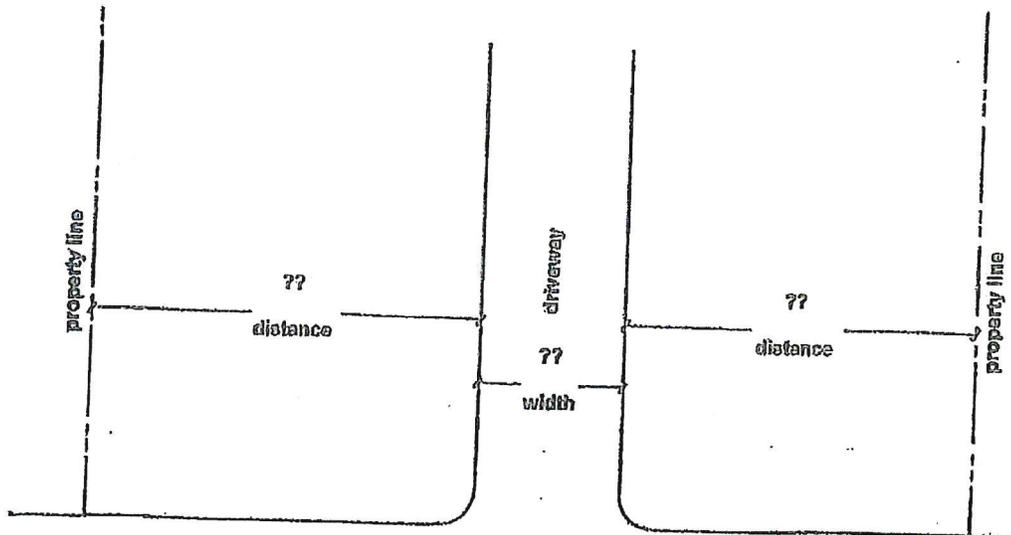
Per Authority of the Town Manager by the
Director of Public Works / Town Engineer

1. Culvert must be HIGH DENSITY POLYETHYLENE (HDPE) PIPE
2. Culvert will be purchased by the Applicant
3. Culvert will be purchased and installed by the applicant. The Town of Essex Department of Public Works will inspect.

Note: A MINIMUM OF 24 HOURS NOTICE IS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION. WITHIN 24 HOURS OF COMPLETION, THE APPLICANT IS REQUIRED TO NOTIFY THE DIRECTOR OF PUBLIC WORKS / TOWN ENGINEER FOR INSPECTION PURPOSES.

* AS CONDITIONED

To Be constructed pursuant to
Planning Commission approval



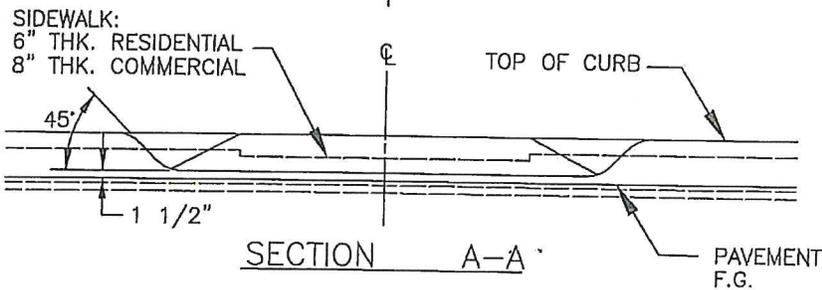
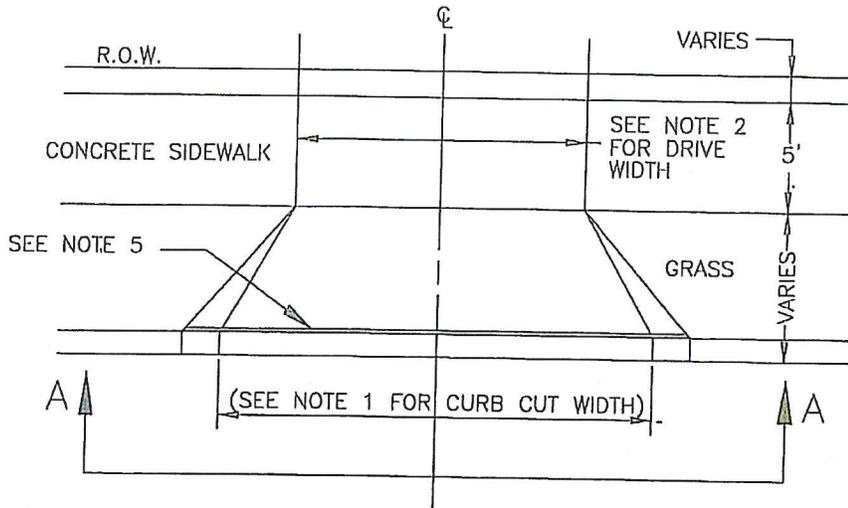
48 CHASE COURT
STREET NAME

Comments and / or special instructions from Director of Public Works / Town Engineer :

1. No alterations of the location of the approved and installed curb cut shall be allowed.
2. The Portland cement concrete sidewalks fronting the approved unit shall be installed, and connected to the existing sidewalk infrastructure in place prior to C.O. If construction is completed on unit during winter months, the sidewalks can be completed no later than May 1st. No exceptions.

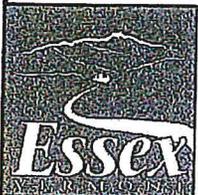
ALM 10-9-18

NOTE: A MINIMUM OF 24 HOURS IS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION. WITHIN 24 HOURS OF COMPLETION, THE APPLICANT IS REQUIRED TO NOTIFY THE DIRECTOR OF PUBLIC WORKS / TOWN ENGINEER FOR INSPECTION PURPOSES.



NOTES :

- 1) CURB CUT WIDTHS SHALL BE AS FOLLOWS
 SINGLE DRIVE: 15 FEET (MIN.)
 DOUBLE DRIVE: 20 FEET (MAX.)
 COMMERCIAL DRIVE: 45 FEET (MAX.)
- 2) DRIVE WIDTHS SHALL BE AS FOLLOWS
 SINGLE DRIVE: 10 FEET (MIN.)
 DOUBLE DRIVE: 15 FEET (MAX.)
 COMMERCIAL DRIVE: 40 FEET (MAX.)
- 3) ALL APRONS WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE PAVED.
- 4) APRON SUBBASE SHALL MATCH THE ROADWAY SUBBASE FOR MATERIALS AND THICKNESS.
- 5) CURBING EXPANSION JOINTS SHALL BE CONSTRUCTED BETWEEN DRIVE APRON AND CURB. (SEE DETAIL 100.07)



TOWN OF ESSEX
 PUBLIC WORKS
 91 MAIN STREET
 ESSEX JDT., VT
 05452
 P: 802 878-1344
 F: 802 878-1355
 E: www.essex.org

TOWN OF ESSEX, VERMONT
 STANDARD SPECIFICATIONS FOR CONSTRUCTION

DRIVEWAY APRON

Detail No: 100.08
 Scale: NOT TO SCALE
 Date: JAN. 2017

A-8