

Appeal Period Expires 10/25/18
 Zoning District R2

Town of Essex, Vermont
Application for Zoning Permit
 www.essex.org

Application Date 1/1
 Permit Number 2018-214

All construction is to be completed in accordance with the Town of Essex Zoning Regulations and any/all federal or state regulations now in effect. You are required to post this permit in a conspicuous location on the property during the appeal period and it must remain posted throughout the construction period. **You are required to contact the necessary state agencies to obtain state permits @ 477-2241 (Jeff McMahon, Permit Specialist).**

Any interested person may appeal the decision of the Zoning Administrator to the Zoning Board of Adjustment within fifteen (15) days of the permit's date of issuance. Commencing construction within this fifteen (15) day appeal period is prohibited by law.

Signed: Thomas E Chase, Parlin

A Parcel Account Numb. (Map-Parcel-Lot) 2-091-014-006
 (found in Town Assessor's Office)
 Property Address: 54 Chase Court
 Owner: JRA ASSOCIATES (Tom Chase)
 Owner Address: 66 Bounding St., So. Burlington VT 05403
 Owner Phone: (work) 802-658-6320 (home) _____
 (cell) 802-316-0537 (Email) TC@jraassociates.com
 Contractors name: Nagley & Clark Const. Phone: 802-658-7300
 Cell: _____
 Estimated Construction Dates: Start: 10/15/18 Completion: 06/15/19
 Sq. Feet: 2029 Estimated Cost (labor & materials): \$200,000

B Sewage Disposal (Please attach Sewer or Septic Application).
 Public Private Connection Fee \$1446 Date Paid: 1/1
 Proposed New Bedrooms: 3 Existing Bedrooms _____

C Water (Please attach Water Service Application).
 Public Private Fee \$802.20 Date Paid: 1/1

D Driveway (Please attach copy of approved Curbcut / Utility Application).
 Date of approval 11/9/18 attached

E Stormwater
 Project disturbs an area greater than or equal to 1 acre – Erosion Control Permit Required. Attach completed permit application.
 Project creates new or expands existing impervious surface greater than or equal to 1/2 acre – Erosion Control Permit and Stormwater Management Permit required. Attach completed permit application.

F Diagram – Show a sketch of project on reverse of this application with property lines, building, and setbacks or attach separate sheet.

G To Be Constructed Pursuant to
 Planning Commission Approval
 # PC: 2017-27
 Signature of Tenant and
 Signature of Owner Thomas E Chase, Parlin

G

Check box(es) which describe proposed use or construction (circle choice in parenthesis).
 N = New A = Addition R = Remodel

Residential:	N	A	R
Single Family	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Two-family (duplex)(other)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Multi-family <u>unfinished Base</u>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Condominium <u>(Townhouse) ment</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mobile home	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Inclusions or Additions: <u>2 Car</u>			
Garage (attached)(detached)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Porch (enclosed)(open)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>Deck</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pool (in) (above) ground	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Shed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Barn (residential) (agriculture)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Non-residential:			
Commercial / Industrial	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Stormwater:			
Stormwater	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Erosion Control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other:			
Change in use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Miscellaneous	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Renewal	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Office Use Only

Fees:	Type	Amount	Date Pd
Permit		\$500.00	9/28/18
Recreation		\$475.00	1/1
Recording		\$20.00	1/1
Certificate of Occ		\$75.00	1/1
Other		\$	1/1

Building Permit
 Approved Rejected Date 10/19/18
 Issued to: Jencho Road Associates
 Zoning Administrator: Sharon L. Kelley
 Notes: 465 info given
 C.O. Required Yes No

THIS PERMIT VALID FOR TWELVE (12) MONTHS FROM DATE OF ISSUE
10/2/19 permit extended for 1 year. new expiration = 10/10/20
SK

INDEX OF DRAWINGS

CIVIL DRAWING

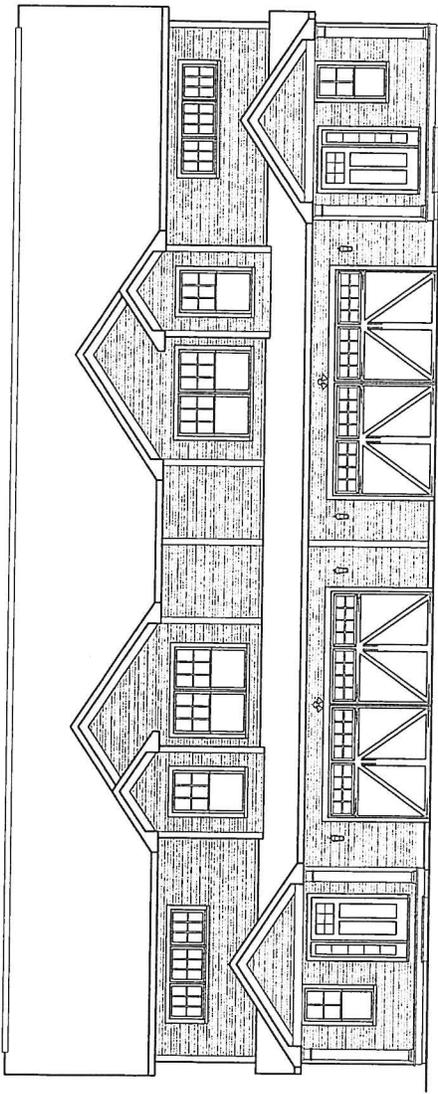
SHT 1 SITE PLAN

ARCHITECTURAL DRAWINGS:

- A01 PROJECT INFORMATION
- A1 FIRST FLOOR PLAN
- A2 SECOND FLOOR PLAN
- A3 ROOF & DETAILS PLAN
- A4 ELEVATIONS
- A5 BULKHEAD & STAIR SECTIONS
- A6 WALL SECTIONS & DETAILS
- A7 WINDOW SCHEDULE & DETAILS
- A8 FIRST & SECOND ELECTRICAL PLAN

STRUCTURAL DRAWINGS:

- S1 FOUNDATION PLANS & DETAILS
- S2 FIRST FLOOR FRAMING PLAN
- S3 SECOND FLOOR FRAMING PLAN
- S4 CONSTRUCTION NOTES



48 & 54 CHASE COURT

ESSEX, VERMONT

DATE: 09-19-18

ARCHITECT:

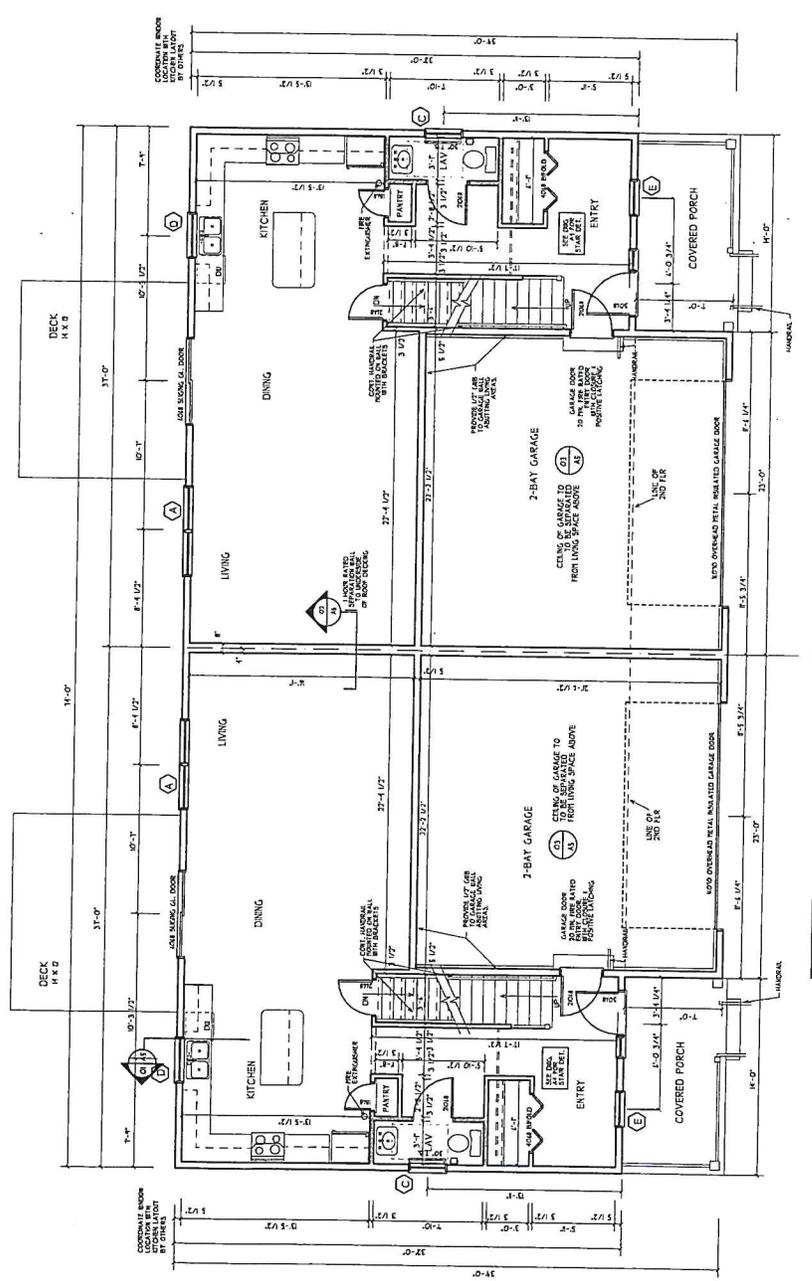
Innovative Design Inc.
8 Carmichael Street, Suite 104
Essex Jct., Vermont 05452

STRUCTURAL ENGINEER:

J. Inc. Hickey Structural Eng. Inc.
10 Athens Drive
Essex Junction, Vt. 05452

BUILDER:

Neagley & Chase Construction Co.
66 Bowdoin St.
South Burlington, Vt. 05403



UNIT #48
 FIRST FLOOR PLAN
 1/4" = 1'-0"

UNIT #54

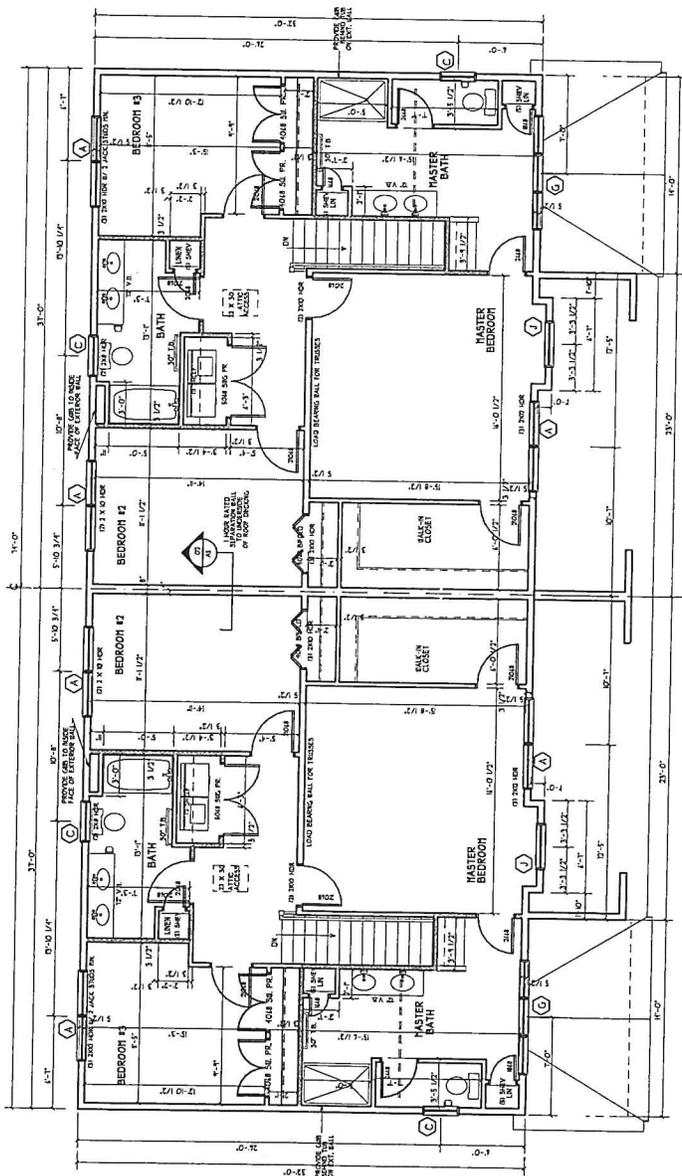
Date	Revision	Drawn By	Checked By

Project Name: **JERICO ROAD ASSOCIATES**
48 & 54 CHASE COURT
 Essex, Vermont
FIRST FLOOR PLAN

Date: 07-17-18
 Scale: 1/4" = 1'-0"
 Drawn By: [Signature]
 File Name: [Signature]

INNOVATIVE DESIGN, INC.
 8 CANTONMENT ROAD, SUITE 104
 ESSEX, VT, 05452
 PHONE: (802) 877-4400
 FAX: (802) 877-4400
 WWW: www.innovativedesign.com

Sheet Number: **A1**

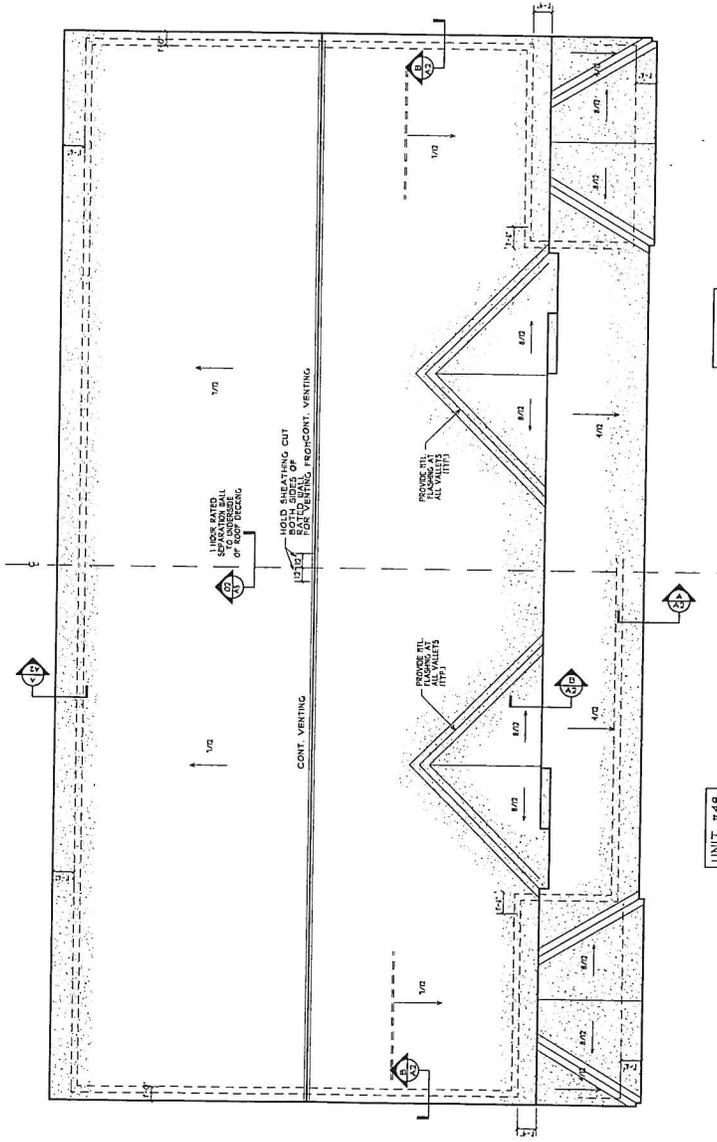


UNIT #54

UNIT #48

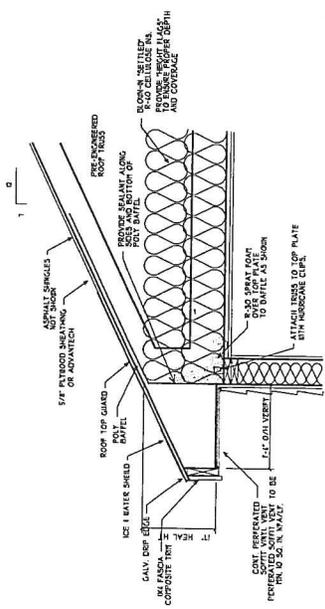
SECOND FLOOR PLAN
1/4" = 1'-0"

		INNOVATIVE DESIGN, INC. 8 CARROLL STREET, SUITE 104 ESSEX, VT 05452 TEL: 802-253-1234 FAX: 802-253-1234 WWW: INNOVATIVEDESIGN.COM	Project Name JERICHO ROAD ASSOCIATES 48 & 54 CHASE COURT ESSEX, VERMONT Sheet Title SECOND FLOOR PLAN
	Date 09-19-18 Scale 1/4" = 1'-0" Drawn By File Name 		Sheet Number A1.2

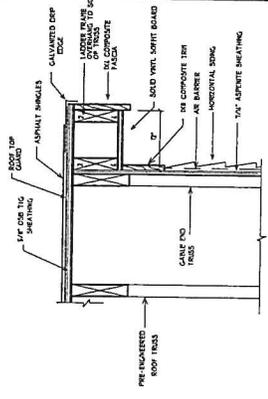


ROOF PLAN
1/4" = 1'-0"

ICE WATER SHIELD - PROVIDE IN ALL VENTS AND PENETRATIONS
 CONT. VENT. - PROVIDE IN ALL VENTS AND PENETRATIONS
 PROVIDE VENT. THROUGH ROOF AS SHOWN
 PROVIDE VENT. THROUGH ROOF AS SHOWN

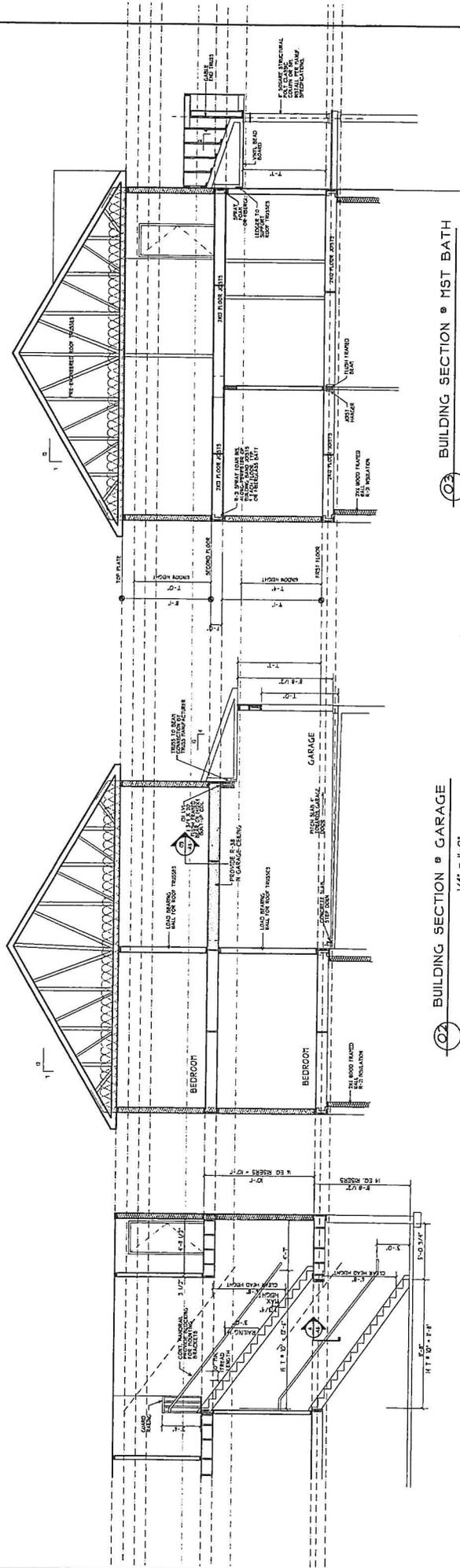


(A) EAVE DETAIL
SCALE: 3/4" = 1'-0"



(B) EAVE DETAIL
SCALE: 3/4" = 1'-0"

		PROJECT NUMBER: JERICHO ROAD ASSOCIATES 48 & 54 CHASE COURT ESTATE, Vermont	SHEET NUMBER: A2
DATE: 01-19-18 SCALE: 1/4" = 1'-0" DRAWN BY: PROJECT NO: 18-0052 CHECKED BY:	PROJECT NAME: ROOF PLAN & DETAILS		



01 STAIR SECTION
1/4" = 1'-0"

02 BUILDING SECTION @ GARAGE
1/4" = 1'-0"

03 BUILDING SECTION @ MST BATH
1/4" = 1'-0"

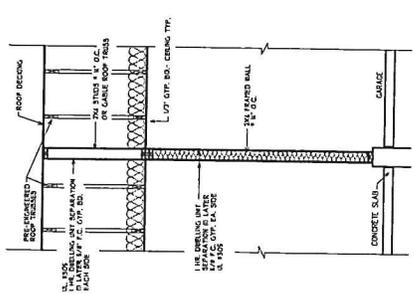
Date	Revision

INNOVATIVE DESIGN INC.
8 CARMICHAEL STREET, SUITE 104
ESSEX VICTORIA, BC V8M 1G2
TEL: 250-383-8888
FAX: 250-383-8888

Date: 08-10-11
Scale: 1/4" = 1'-0"
Drawn By: [Name]
File Name: [Name]

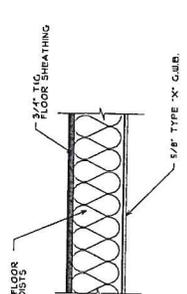
Project Name: JERICHO ROAD ASSOCIATES
48 & 54 CHASE COURT
Vernon, BC
Sheet Title: BUILDING & STAIR SECTION

Sheet Number: A4

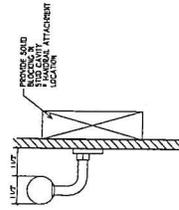


02 PARTY WALL & GARAGES

NOTE: PROVIDE BLOCKING AND ADDITIONAL LAYER OF FIRE RATED Gypsum BOARD BEHIND ALL WALL PENETRATIONS ON RATED SIDE OF PARTY WALLS.



03 GARAGE CEILING/FLOOR ASSEMBLY
PER IRC 2015 SECTION 404.3.41



A HANDRAIL DETAIL
NONE

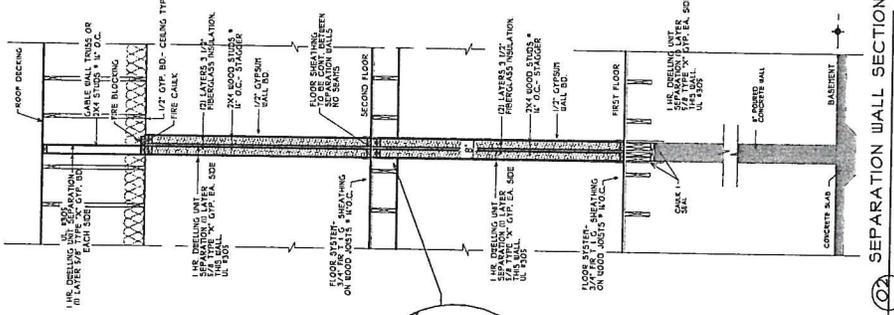
NOTE: REBARRE ALL STEEL REINFORCING MEMBERS PRIOR TO FABRICATION OF STAIRS AND RAILINGS.

NOTE: USE PENGLASS OR SIPR AT LOCATIONS SHOWN. PENGLASS SHALL BE INSTALLED IN THE MANNER SHOWN. SIPR SHALL BE INSTALLED IN THE MANNER SHOWN. PENGLASS SHALL BE INSTALLED IN THE MANNER SHOWN.

GENERAL NOTES:
1. ALL WALLS AND PARTITIONS SHALL BE CONSTRUCTED WITH 1/2\"/>

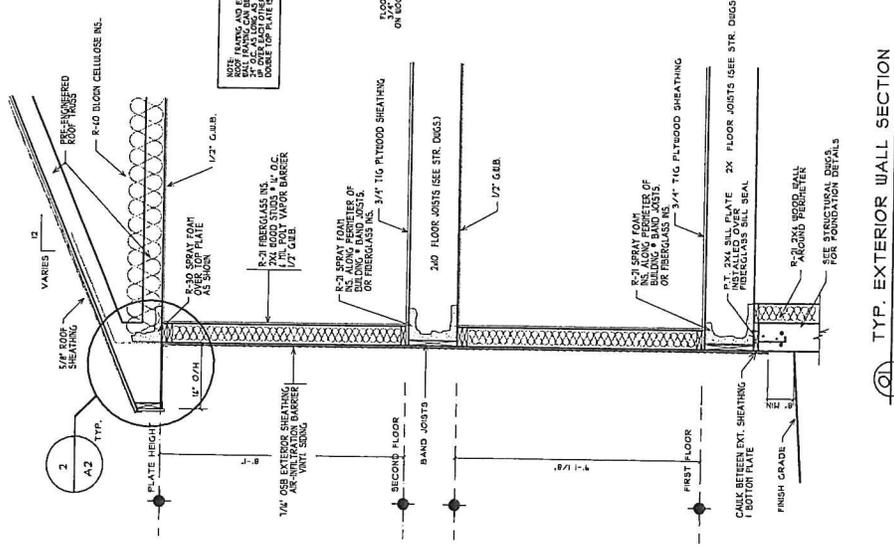
SEPARATION WALLS TO BE CONSTRUCTED WITH CONCRETE SLAB TO UNDERLIE THE ROOF DECKING AND TO BE INSTALLED ON THE OUTSIDE FACE OF WALL AND ON ROOF OVERHANG.

FIRESSTOPPING NOTES:
CONTRACTOR SHALL ENSURE THAT ALL PENETRATIONS INTO WALLS AND CEILING ARE PROPERLY FIRESSTOPPED. ALL PENETRATIONS INTO WALLS AND CEILING ARE TO BE MADE AT THE TIME THE WALLS AND CEILING ARE CONSTRUCTED. ALL PENETRATIONS INTO WALLS AND CEILING ARE TO BE MADE AT THE TIME THE WALLS AND CEILING ARE CONSTRUCTED.



04 SEPARATION WALL SECTION

NOTE: PROVIDE BLOCKING AND ADDITIONAL LAYER OF FIRE RATED Gypsum BOARD BEHIND ALL WALL PENETRATIONS ON RATED SIDE OF PARTY WALLS PRIOR TO TUB INSTALLATION.



01 TYP. EXTERIOR WALL SECTION
3/4\"/>

NOTE: ANY WOOD IN CONTACT WITH CONCRETE SHOULD BE PRESURE TREATED.

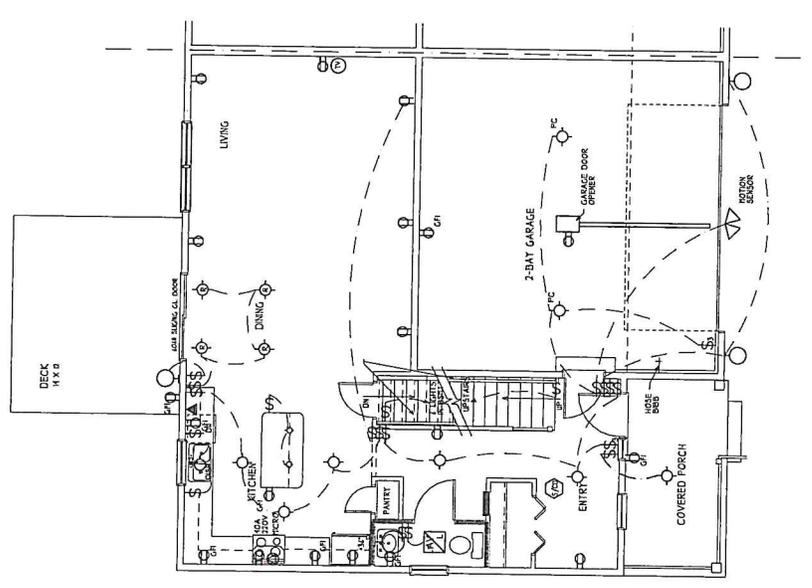


INNOVATIVE DESIGN INC.
8 CARMICHAEL STREET, SUITE 104
ESSEX, VT, 05452
Tel: (802) 875-8047
Fax: (802) 875-8047
Email: info@innovativedesign.com

DATE: 09-19-18
SCALE: 1/4\"/>

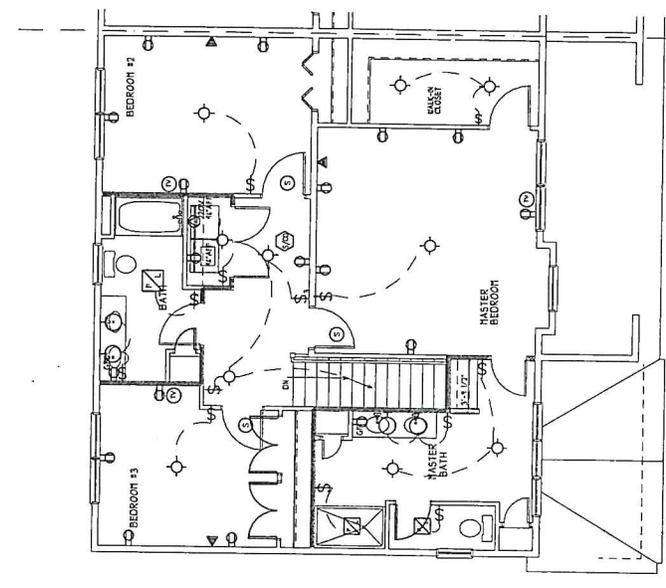
Project Name: **JERICHO ROAD ASSOCIATES 4B & 54 CHASE COURT, ESSEX, VT**
Sheet Title: **WALL SECTIONS & DETAILS**
Sheet Number: **A5**

NO.	REVISION	DATE	BY	CHKD



FIRST FLOOR PLAN
1/4" = 1'-0"

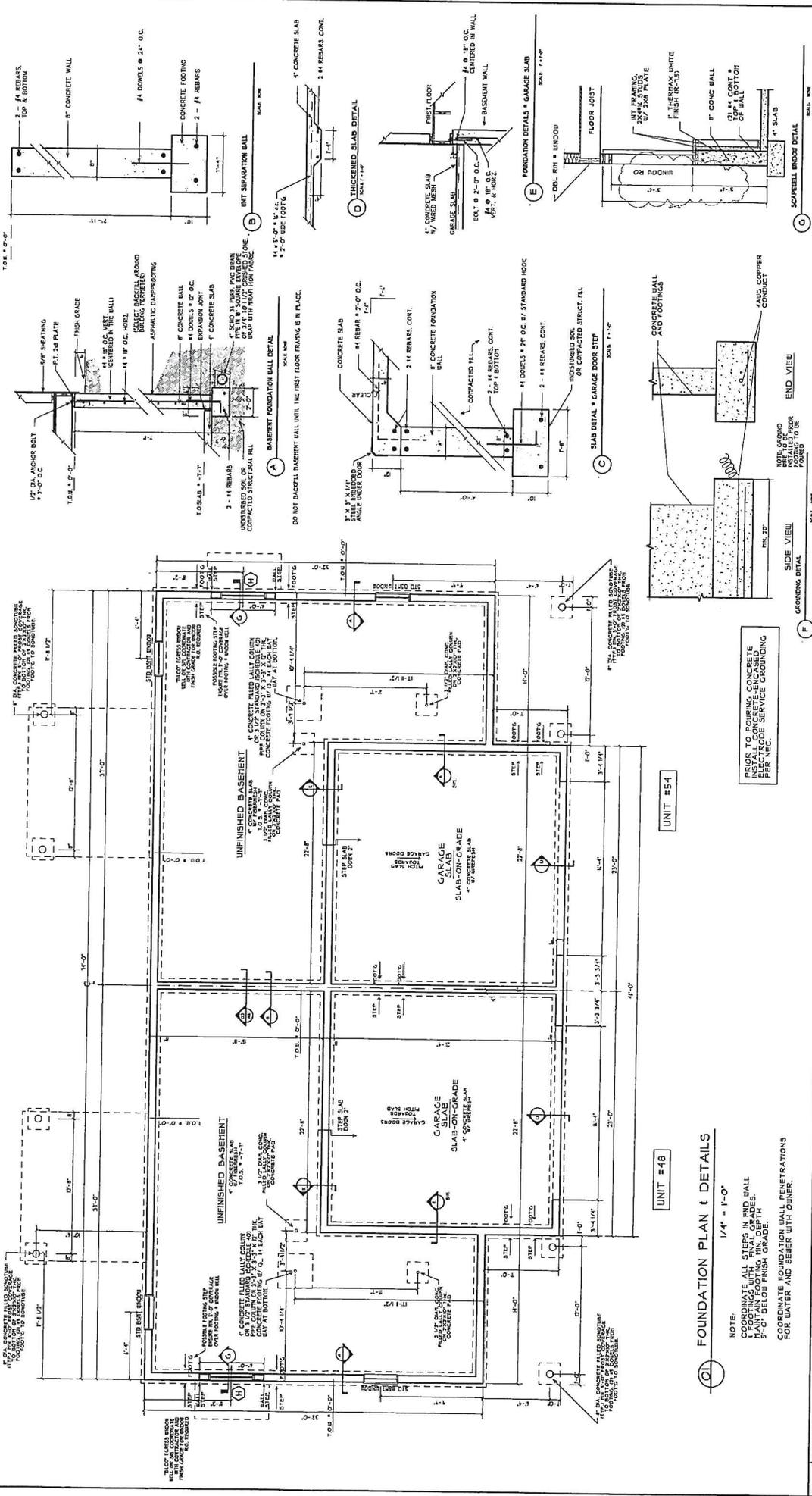
THESE ELECTRICAL PLANS ARE SCHEMATIC IN NATURE. THEY DO NOT CONSTITUTE A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND COMPLIANCE WITH THE VERMONT ELECTRICAL CODE. ELECTRICAL WORK TO BE DONE PER THE VERMONT ELECTRICAL CODE.



SECOND FLOOR PLAN
1/4" = 1'-0"

- LEGEND
- ⬇ LIGHT SWITCH
 - ⊖ RECEPT.
 - ⚡ 47' GROUND FAULT INTERRUPTER
 - ☎ 250 VOLT TELEPHONE
 - ⊙ HAND WIRED OPERATED FLUSH MOUNT ELECT. PANEL
 - ☉ CEILING HUNG FIXTURE
 - ⊕ RECESSED LIGHT FIXTURE
 - ☂ FAN/LIGHT
 - ☼ HAND WIRED PHOTO SENSORED CO DETECTOR

	INNOVATIVE DESIGN, INC. 100 WASHINGTON STREET, SUITE 10 ESSEX, VT, 05732 PHONE (802) 878-4443 FAX (802) 878-4444				JERICHO ROAD ASSOCIATES 48 & 54 CHASE COURT Essex, Vermont FIRST & SECOND ELECTRICAL PLAN	Sheet Number: E1	
Date: 08-19-18 Scale: 1/4" = 1'-0" Drawn By: File Name:							



FOUNDATION PLAN & DETAILS
1/4" = 1'-0"

NOTE:
COORDINATE ALL STEPS IN FIN. WALL
TO MAIN FLOOR FIN. DEPTH.
COORDINATE FOUNDATION WALL PENETRATIONS
FOR WATER AND SEWER WITH OWNER.

PRIOR TO POURING CONCRETE
INSTALL CONCRETE-ENCASED
STEEL TUBES TO PROTECT
PER NEC.

NO.	REVISION

Project Name:
JERICO ROAD ASSOCIATES
48 & 54 CHASE COURT
Essex, Vermont

Sheet Number:
S1

FOUNDATION PLANS & DETAILS

Scale: 1/4" = 1'-0"

INNOVATIVE DESIGN, INC.
100 WASHINGTON STREET, SUITE 104
ESSEX, VT, 05442
PHONE (802) 897-8400
FAX (802) 897-8400
WWW.IDIARCHITECTS.COM

DATE: 01-14-18

DESIGNED BY: [Signature]

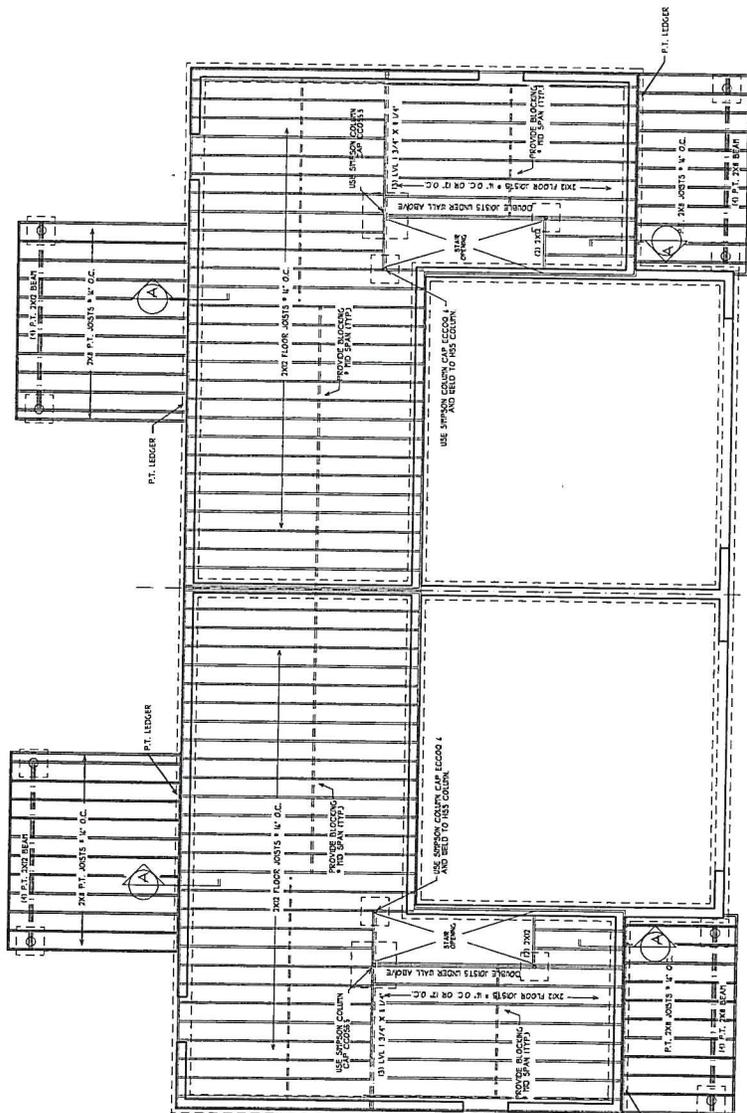
CHECKED BY: [Signature]

SCALE: 1/4" = 1'-0"

UNIT #46

UNIT #48

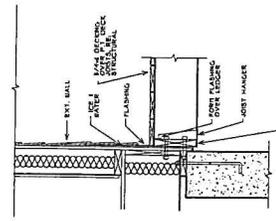
UNIT #54



UNIT #48

○ FIRST FLOOR FRAMING
1/4" = 1'-0"

UNIT #54

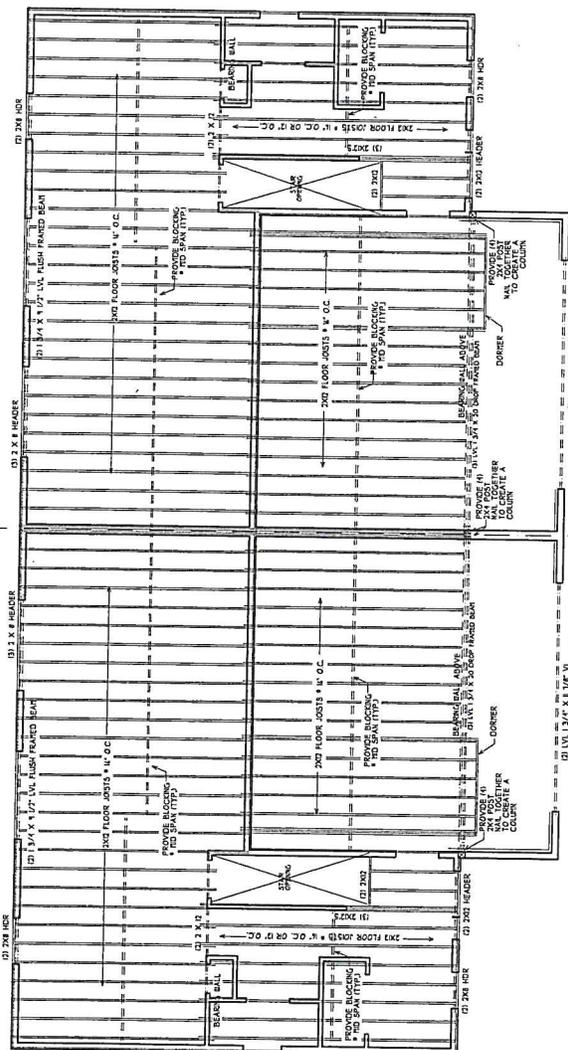


○ A DECK DETAIL
N.T.S.

ALL TRAILERS ON DECK PLANE AND TRAILERS ARE VINYL.
ALL FASTENERS FASTENERS QUALIFIED TRAILERS ARE GALVANIZED WITH HIGH TENSILE STRENGTH BOLTS.
SEE FOUNDATION PLAN FOR FOUNDATION LOCATIONS

JOIST CLEAR SPAN 17'-0"
11' 0" FOR SLEEPING AREA 0.31" I/JDD
11' 0" FOR LIVING AREA 0.31" I/JDD
11' 0" FOR LIVING AREA 0.31" I/JDD

	<p>INNOVATIVE DESIGN, INC. 8 CANTONVILLE ROAD, SUITE 104 ESSEX, VT, 05433 PHONE (802) 897-4333 FAX (802) 897-4333 E-MAIL info@innovativeid.com</p>	<p>Sheet Number: S2</p>
<p>Date: 04-19-18 Scale: 1/4" = 1'-0" Drawn By: File Name:</p>	<p>Project Name: JERICHO ROAD ASSOCIATES 48 & 54 CHASE COURT Location: Vermont</p>	<p>Project Name: FIRST FLOOR FRAMING PLAN</p>



2005 * CLEAR SPAN 17'-4"
 2005 * FOR SLEEPING AREA * 20'3" * 11'10"
 11. DBL. FOR DINING AREA * 10' * 17'4"
 2003 * 17' 0" * 11' 10"
 11. DBL. FOR LIVING AREA * 31' * 11'10"

UNIT #54

UNIT #48

02 SECOND FLOOR FRAMING

1/4" = 1'-0"

Date	Revision	By	Checked



INNOVATIVE DESIGN, INC.
 301E 104
 ESSEX ST., VT. 05452
 PH: (802) 877-2400
 FAX: (802) 877-2400
 Email: info@idesignvt.com

Scale: 01-19-18
 Sheet: 1/4" = 1'-0"
 Drawn By:
 Check By:

Project Name:
JERICHO ROAD ASSOCIATES
48 & 54 CHASE COURT
 Vermont
 Sheet No.:
S2.1
 SECOND FLOOR FRAMING PLAN

Received

OCT 01 2018

TOWN OF ESSEX, VERMONT
APPLICATION FOR CURB CUT / UTILITY PERMIT

Public Works

Pursuant to Title 19 V.S.A. Section 43. Application for curb cut and Utility Installation in Town Right-of-Way

All applications for curb cuts and utility installations shall be submitted to the Director of Public Works / Town Engineer for review. Applicants shall submit the information requested on this form and any additional information requested by the Director of Public Works / Town Engineer for a clear understanding of this application. The permit is issued under authority of the Town Manager in accordance with Section 601 of the Town Charter and 24 V.S.A. paragraph 1236 (2).

Application No. _____ / 09/27/18
Date

Property Address: 54 CHASE COURT

Owner Address: 66 Bowdoin St. Ste 100, Summit Building, VT 05493

Owner Name: RA ASSOCIATES

Phone Number: (home) _____ (work) 802-658-6320 (cell) 502-316-9537

Tax Map # 051 Tax Parcel 014 Tax Lot 006

Application is for: (check one)

A) New Curb Cut B) Utility Installation: Overhead Underground

Please use attached diagram to describe location and type of installation.

Comments be Director of Public Works / Town Engineer:

Culvert: Yes No Water Bar(s): Yes No

Culvert Diameter: (18 Inch minimum) _____ Total length of Culvert: (30 foot minimum) _____

Signature of Owner:

Thomas E. Chase, Partner

*** FOR OFFICE USE ONLY ***

Fee Paid \$ _____

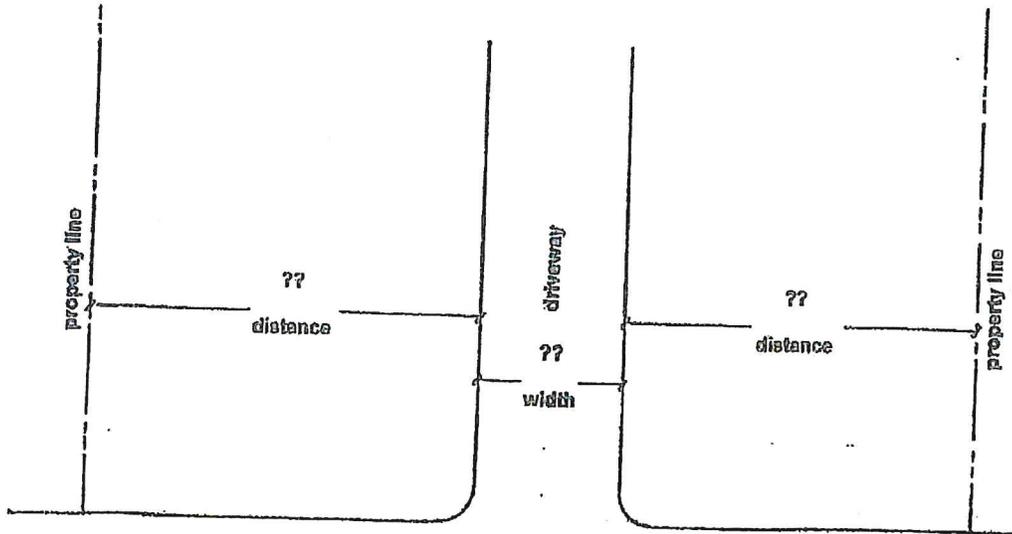
Approved Rejected

Per Authority of the Town Manager by the
Director of Public Works / Town Engineer

1. Culvert must be HIGH DENSITY POLYETHYLENE (HDPE) PIPE
2. Culvert will be purchased by the Applicant
Culvert will be purchased and installed by the applicant. The Town of Essex Department of Public Works will inspect.
3. Note: A MINIMUM OF 24 HOURS NOTICE IS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION. WITHIN 24 HOURS OF COMPLETION, THE APPLICANT IS REQUIRED TO NOTIFY THE DIRECTOR OF PUBLIC WORKS / TOWN ENGINEER FOR INSPECTION PURPOSES.

AS CONDITIONED

To Be constructed pursuant to
Planning Commission approval # PC:2017-27



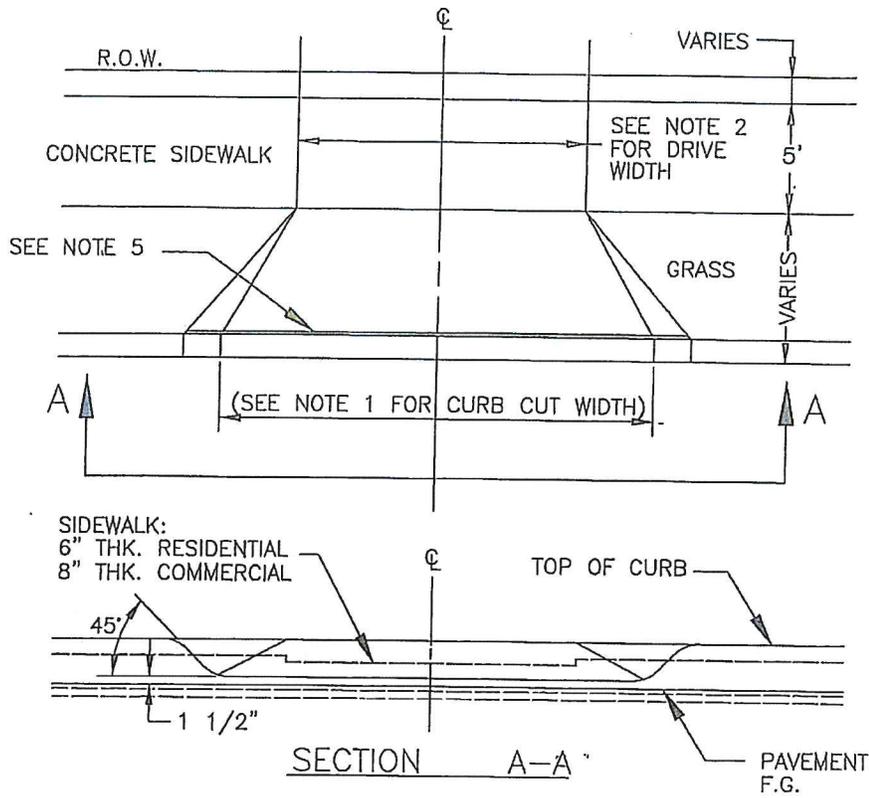
54 CHASE COURT
STREET NAME

Comments and / or special instructions from Director of Public Works / Town Engineer :

1. No alterations of the location of the approved and installed curb cut shall be allowed.
2. The Portland cement concrete sidewalks fronting the approved unit shall be installed, and connected to the existing sidewalk infrastructure in place prior to C.O. If construction is completed on unit during winter months, the sidewalks can be completed no later than May 1st. No exceptions.

ALM 10-9-18

NOTE: A MINIMUM OF 24 HOURS IS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION. WITHIN 24 HOURS OF COMPLETION, THE APPLICANT IS REQUIRED TO NOTIFY THE DIRECTOR OF PUBLIC WORKS / TOWN ENGINEER FOR INSPECTION PURPOSES.



NOTES :

- 1) CURB CUT WIDTHS SHALL BE AS FOLLOWS
 SINGLE DRIVE: 15 FEET (MIN.)
 DOUBLE DRIVE: 20 FEET (MAX.)
 COMMERCIAL DRIVE: 45 FEET (MAX.)
- 2) DRIVE WIDTHS SHALL BE AS FOLLOWS
 SINGLE DRIVE: 10 FEET (MIN.)
 DOUBLE DRIVE: 15 FEET (MAX.)
 COMMERCIAL DRIVE: 40 FEET (MAX.)
- 3) ALL APRONS WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE PAVED.
- 4) APRON SUBBASE SHALL MATCH THE ROADWAY SUBBASE FOR MATERIALS AND THICKNESS.
- 5) CURBING EXPANSION JOINTS SHALL BE CONSTRUCTED BETWEEN DRIVE APRON AND CURB. (SEE DETAIL 100.07)



TOWN OF ESSEX
 PUBLIC WORKS
 81 MAIN STREET
 ESSEX JCT., VT
 05452
 P: 802 878-1344
 F: 802 878-1355
 E: www.essex.org

TOWN OF ESSEX, VERMONT
 STANDARD SPECIFICATIONS FOR CONSTRUCTION

DRIVEWAY APRON

Detail No: 100.08
 Scale: NOT TO SCALE
 Date: JAN. 2017

A-8

VOL: 1027 PG: 276
ACT 250 DISCLOSURE STATEMENT
VERMONT NATURAL RESOURCES BOARD
MONTPELIER, VERMONT 05602

NOTE: IF THIS TRANSACTION DOES NOT INVOLVE THE PARTITION OR DIVISION OF LAND BY A PERSON, THIS ACT 250 DISCLOSURE STATEMENT IS NOT REQUIRED. REFER TO 10 V.S.A. § 6001(14)(a) and (b) FOR THE DEFINITION OF "PERSON".

1. SUBDIVIDER'S (TRANSFEROR) FULL NAME(S)	MAILING ADDRESS
JERICHO ROAD ASSOCIATES	38 CHASE LANE COLCHESTER, VT 05448 <div style="font-size: small; text-align: right;"> Essex, Vermont Town Clerk's Office DEC 23, 2019 04:18 PM Received for record and recorded in book: 1027 on page: 276 - 277 Of Essex Land Records Attest: Susan McNamara-Hill Town Clerk </div>

NAME OF CONTACT PERSON FOR SUBDIVIDER	MAILING ADDRESS	TELEPHONE NO.
WARD LAW, PC	3069 WILLISTON ROAD SOUTH BURLINGTON, VT 05403	(802) 863-0307

2. BUYER'S (TRANSFeree) FULL NAME(S)	MAILING ADDRESS
CHRISTINA MCGILL ANTHONY MCGILL	54 CHASE COURT ESSEX, VT 05452

3. DESCRIPTION OF PROPERTY	ROAD	FOOTPRINT	NUMBER OF ACRES
TOWN ESSEX	CHASE COURT		

4. State the total number of lots or parcels the Subdivider intends to create as part of this partition or division of land.
 NUMBER OF LOTS 21

5. Has the Subdivider divided or partitioned any other land within the past five years which is located within the same town or district or is located within five miles (if in a different district)?

See map.

Lots within the same town?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	NUMBER OF LOTS _____
Lots within the same district?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	NUMBER OF LOTS _____
Lots within five miles?	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES	NUMBER OF LOTS _____

6. Have the Subdivider's parents or children (natural or adoptive) or spouse or any trust, corporation, or other entity affiliated with the Subdivider, divided or partitioned any other land within the past five years which is located within the same town or district or is located within five miles (if in a different district) of the land being partitioned?

NO YES IF "YES," COMPLETE THE FOLLOWING ABOUT THE FAMILY MEMBER

NAME	ADDRESS	RELATIONSHIP

7. Did the Subdivider profit or derive any consideration or financial benefit from the partition or division of the land of that family member or other entity as listed in #6 above.

NO YES IF "YES," COMPLETE THE FOLLOWING ABOUT THE FAMILY MEMBER

NAME	ADDRESS	RELATIONSHIP

8. Will any family member or entity listed in #6 above derive any profit or consideration, or acquire any other beneficial interest from the partition or division of the land subject to this statement? (Read instructions before answering.)

NO YES IF "YES," LIST THE FAMILY MEMBER BELOW.

NAME OF FAMILY MEMBER RELATIONSHIP TO SUBDIVIDER

9. List below in the space provided the name of all individuals and entities affiliated with the subdivider(s) in the partition or division of the subject land, as that affiliation is conditioned and limited according to the definition of "person" in 10 V.S.A. § 6001(14).

NAME NATURE OF AFFILIATION

NOT APPLICABLE

10. List below any partition or division of land by any individuals or entities now or previously affiliated with the Subdivider(s) for benefit or profit which has occurred within the preceding five years (including this transaction) and which is located within five miles of the land being divided or partitioned, within the jurisdictional area of the District Environmental Commission (see District Map), or within the same town.

NAME LOCATION (TOWN) DESCRIPTION OF LAND NO. OF LOTS DATE CREATED

NOT APPLICABLE

11. NOTICE THAT AN ACT 250 PERMIT MAY BE REQUIRED

As the Subdivider(s) of this property, I/we hereby notify the buyer that an Act 250 permit may be required prior to this partition or division of the property. Failure to obtain an Act 250 permit in violation of 10 V.S.A. § 6081 may result in prosecution under the Environmental Enforcement Act, 10 V.S.A. Chapter 200.

Prior to the partition or division of the land in question, the buyer may submit to the District Coordinator this Disclosure Statement and other relevant information and should request a jurisdictional opinion from the District Coordinator as to the applicability of Act 250 to this proposed partition or division of land.

12. If an Act 250 permit has been issued for the land being partitioned, enter the Land Use Permit Number 4C1302.

I/we the Subdivider(s) hereby swear and affirm that this Disclosure Statement is true and complete to the best of my/our knowledge. Knowing falsification of any statement contained herein is punishable pursuant to the provisions of 10 V.S.A. § 6003; 10 V.S.A. Chapters 201 and 211; and 13 V.S.A. § 3016.

DATE: DECEMBER 18, 2019

Thomas E. Chure
Duly Authorized Agent of Jericho Road Associates

Signature(s) of Subdivider(s)