

Appeal Period Expires <u>7/27/18</u> Zoning District <u>R2</u>	Town of Essex, Vermont Application for Zoning Permit www.essex.org	Application Date <u>2/1/18</u> Permit Number <u>2018-141</u>
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All construction is to be completed in accordance with the Town of Essex Zoning Regulations and any/all federal or state regulations now in effect. You are required to post this permit in a conspicuous location on the property during the appeal period and it must remain posted throughout the construction period. You are required to contact the necessary state agencies to obtain state permits @ 477-2241 (Jeff McMahon, Permit Specialist).

Any interested person may appeal the decision of the Zoning Administrator to the Zoning Board of Adjustment within fifteen (15) days of the permit's date of issuance. Commencing construction within this fifteen (15) day appeal period is prohibited by law.

Signed: Brian Marcotte

A	Parcel Account Num. (Map-Parcel-Lot) 2- <u>084-002-019</u> <small>(found in Town Assessor's Office)</small> Property Address: <u>6 Evergreen Drive</u> Owner: <u>Pinewood Development, LLC</u> Owner Address: <u>57 River Rd. Suite 1003 Essex</u> Owner Phone: (work) <u>878-4606</u> (home) <u>238-3538</u> (cell) <u>238-3538</u> (Email) <u>brianbuilds@</u> Contractors name: <u>Brian Marcotte</u> Phone: <u>comcast.net</u> Cell: <u>238-3538</u> Estimated Construction Dates: Start: <u>8/1/18</u> Completion: <u>12/1/18</u> Sq. Feet: <u>2247</u> Estimated Cost (labor & materials): \$ <u>240,000</u>
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G			
Check box(es) which describe proposed use or construction (circle choice in parenthesis). N = New A = Addition R = Remodel			
<i>Residential:</i>	N	A	R
Single Family	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Two-family (duplex)(other)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Multi-family	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Condominium / Townhouse	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mobile home	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<i>Inclusions or Additions:</i>			
Garage (<u>attached</u>) (detached)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Porch (enclosed) (<u>open</u>)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Deck	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pool (in) (above) ground	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Shed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Barn (residential) (agriculture)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<i>Non-residential:</i>			
Commercial / Industrial	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<i>Stormwater:</i>			
Stormwater	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Erosion Control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<i>Other:</i>			
Change in use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Miscellaneous	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Renewal	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

B	Sewage Disposal (Please attach Sewer or Septic Application). Public <input checked="" type="checkbox"/> Private <input type="checkbox"/> Connection Fee \$ <u>2442.20</u> Date Paid: <u>7/9/18</u> Proposed New Bedrooms: <u>4</u> Existing Bedrooms <u> </u>
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C	Water (Please attach Water Service Application). Public <input checked="" type="checkbox"/> Private <input type="checkbox"/> Fee \$ <u>1802.20</u> Date Paid: <u>7/9/18</u>
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D	Driveway (Please attach copy of approved Curbcut / Utility Application). Date of approval <u> / / </u>
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E	Stormwater <input type="checkbox"/> Project disturbs an area greater than or equal to 1 acre – Erosion Control Permit Required. Attach completed permit application. <input checked="" type="checkbox"/> Project creates new or expands existing impervious surface greater than or equal to 1/2 acre – Erosion Control Permit and Stormwater Management Permit required. Attach completed permit application.
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F	Diagram – Show a sketch of project on reverse of this application with property lines, building, and setbacks or attach separate sheet.
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G	<p style="font-size: 1.2em; font-style: italic;">Attached (over) to be constructed pursuant to Planning Commission Approval # 2004-30</p> <p>Signature of Tenant and Signature of Owner <u>Brian Marcotte</u></p>
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Office Use Only			
Fees:	Type	Amount	Date Pd.
Permit		\$ <u>1000.00</u>	<u>7/9/18</u>
Recreation		\$	<u>7/9/18</u>
Recording		\$ <u>50</u>	<u>7/9/18</u>
Certificate of Occ		\$ <u>75</u>	<u> / / </u>
Other		\$	<u> / / </u>
Building Permit			
Approved <input type="checkbox"/>	Rejected <input type="checkbox"/>	Date <u>7/12/18</u>	
Issued to: <u>Pinewood Dev LLC</u>			
Zoning Administrator: <u>Sharon L Kelly</u>			
Notes: <u>Energy info given</u>			
C.O. Required Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			

Received

Town of Essex

2018-141

Application for Sewer Service

JUL 10 2018

Revised April 2016

The undersigned, being the owner / owner's agent of the property located at:

Public Works

Street Address: 6 Evergreen Dr. Development: Pinewood Manor

Tax Map # 084 Tax Parcel 002 Tax Lot 019

Does hereby request a permit to install and connect a building sewer to serve 1 unit(s) Residential Commercial Industrial structure

Installer / Contractor:

Name: J. Hutchins Inc.
Address: 88 Rogers Lane Richmond
Phone: 434-3500
Cell: 343-5440 / Bob

Property Owner:

Name: Pinewood Development, LLC
Address: 57 River Rd. Suite 1003
Phone: 878-4606
Cell: 238-3538

The owner / agent agrees:

- a) That all work shall be in accordance with the Town Sewer Ordinance, the Town Public Works Specifications, and all other pertinent ordinances or regulations of the Town of Essex.
- b) To install and maintain the private building sewer at no expense to the Town.
- c) To notify the Public Works Office twenty four hours prior to the start of construction for inspection purposes. No part of the sewer line may be covered until it has been inspected by the Town Representative.
- d) To pay the sewer charges (construction and operations) which are billed as set forth in the water/sewer fee schedule.

Signed: Brian J. Marcotte
(Signature of Owner / Agent)

Date: 07-06-18

PLEASE MAKE CHECK PAYABLE TO TOWN OF ESSEX WATER AND SEWER DEPARTMENT AND RETURN ALONG WITH APPLICATION TO THE COMMUNITY DEVELOPMENT OFFICE. DO NOT COMBINE WITH ZONING PERMIT FEE.

For Office Use Only

200 allons / day x \$10.30 = \$ 2060 + \$1,000 = \$ 3060

Received by: B Date: 7-9-18

Approved by: Amm Date: 07-12-18 Letter Sent Finance Notified

Inspected by: _____ Date: _____ Tie Drawing Finance Notified

Master List Updated: Approved Inspected

2018-141

Town of Essex Application for Water Service

Revised April 2016

The undersigned, being the owner / owner's agent of the property located at:

Street Address: 6 Evergreen Drive Development: Pinewood Manor
Tax Map # 084 Tax Parcel 002 Tax Lot 019

Does hereby request a permit to initiate water service as noted below to
serve 1 unit(s) Residential Commercial Industrial structure

Installer / Contractor:
Name: J. Hutchins Inc.
Address: 88 Rogers Lane Richmond
Phone: 434-3500
Cell: 343-5440 / Bob

Property Owner:
Name: Pinewood Development, LLC
Address: 57 River Rd. Suite 1003
Phone: 878-4606
Cell: 238-3538

Firm Performing Main Line Tap:
Name: J. Hutchins Inc.
Address: Same
Phone: as Above
Cell: _____

- 1.) The above requested service includes the installation of a 3/4" x 5/8" water meter for residential use and up to a 2" simple meter for non-residential use. The information necessary to determine the correct meter size shall be supplied by the applicant (minimum to maximum range of use). Meters 5/8", 3/4" and 1" shall be installed by the Town. Meters above 1" shall be installed by the owner/applicant or qualified representative.
- 2.) Property owner / agent is responsible for and must provide all necessary excavation form the main to the building or structure.
- 3.) Property owner / agent agrees to provide the Town a minimum of 24 hours notice prior to installation for inspection purposes. No part of the water line may be covered until it has been inspected by the Town Representative.
- 4.) Property owner / agent agrees to restore all disturbed areas to original condition after the installation of said water service.
- 5.) The water service can be turned on only by an employee of the Town of Essex Water Department.
- 6.) Meter spacers must be obtained from the Town of Essex Water Department.
- 7.) The owner / agent agrees that all installation and work will conform to the Town Public Works Specifications and the Water Ordinance and Regulations of the Town of Essex.

8.) In consideration of water service supplied by the Town of Essex Water Department, I agree to be responsible for payment of all bills rendered and for all water used by me, my tenants, successors in tenancy or in ownership, and all persons at above locations, unless and until proper notice is given to the Town Water Department of termination of service on a specific date. I also agree to abide by all rules and regulations established by the Essex Water Department.

Signed: Brian J. Marcotte Date: 07-06-18

PLEASE MAKE CHECK PAYABLE TO TOWN OF ESSEX WATER AND SEWER DEPARTMENT.
DO NOT COMBINE WITH ZONING PERMIT FEE.

All water services are subject to a service initiation fee as set by the Water/Sewer Fee Schedule adopted by the Selectboard. The following fee schedule shall apply to all municipal water connections.

FOF OFFICE USE ONLY:

200 gallons/day x \$ 5.73 = \$ 1146.00 + \$1,000 = \$ 2146.00

Connection Fee: \$ 1000 Rcvd by: JB Date: 07-09-18 Finance Notified

Approved by: ACM Date: 07-12-18 Letter Sent Finance Notified

Inspected by: _____ Date: _____ Tie Drawing Finance Notified

Meter Installed Date: _____

Master List Updated: Approved Inspected Metered

VOID VOID VOID VOID 2240
VOID VOID



PINEWOOD DEVELOPMENT, LLC
57 RIVER ROAD SUITE 1003
ESSEX JUNCTION, VT 05452

VOID BANK
America's Most Convenient Bank
58-3/116

VOID BANK
America's Most Convenient Bank

7/5/2018

PAID TO THE
ORDER OF TOWN of ESSEX

Five Thousand Two Hundred Six and 00/100*****

\$ **5,206.00

DOLLARS

Security features: Details on back



TOWN OF ESSEX
VERMONT

81 MAIN STREET, ESSEX JUNCTION, VERMONT 05452
Fax: 878-1353 • E-mail: manager@essex.org • Website: www.essex.org

July 12, 2018

Pinewood Development, LLC
Attn: Mr. Brian Marcotte
57 River Road, Suite 1003
Essex Junction, VT 05452

Re: Water/ Sanitary Sewer Applications
6 & 8 Evergreen Drive

Dear Mr. Marcotte:

The Town of Essex approves your application for water and sewer service to your building lots at 6 and 8 Evergreen Drive. Both lots are approved for a maximum of 200 GPD for both water and sewer.

As of the date of this letter, the current water operational charge is \$5.42/1000 gal. (or \$165.00 minimum) and the sewer operational charge is \$9.27/1000 gal. Both operational charges will be billed from the date of the actual physical connection to each municipal system.

Please be advised, all connections and service lines installed on your lot shall be inspected by a representative of the Town before backfilling. If service lines and connections are backfilled without inspection, the Town will not issue a Certificate of Occupancy until the service lines and connections are excavated and inspected by a representative of the Town.

If you have any questions, please feel free to call.

Sincerely,

Aaron K. Martin, P.E.
Utilities Director / Assistant Town Engineer

Cc: Community Development
Finance Department
File

S:\PWORKS\WATER - SEWER Connections\Approval Letters\6 and 8 Evergreen Drive 07-12-18.doc

TOWN MANAGER	PARKS AND RECREATION	COMMUNITY DEVELOPMENT	PUBLIC WORKS	ASSESSOR	FINANCE	TOWN CLERK	LIBRARY	POLICE
878-1341	878-1342	878-1343	878-1344	878-1345	878-1359	879-0413	879-0313	878-8331

TO: Zoning Administrator / Water/Sewer Bookkeeper

FROM: Public Works Department W/O # _____

The following service has been Approved: Permit # _____

Date: July 12, 2018

Name: Pinewood Development, LLC

Street: 6 Evergreen Drive

Lot #: 084/002/019

Water Sewer Both

Number of Gallons: 200

Initials: AKM

2018-141

TOWN OF ESSEX, VERMONT APPLICATION FOR CURB CUT / UTILITY PERMIT

Pursuant to Title 19 V.S.A. Section 43. Application for curb cut and Utility Installation in Town Right-of-Way

All applications for curb cuts and utility installations shall be submitted to the Director of Public Works / Town Engineer for review. Applicants shall submit the information requested on this form and any additional information requested by the Director of Public Works / Town Engineer for a clear understanding of this application. The permit is issued under authority of the Town Manager in accordance with Section 601 of the Town Charter and 24 V.S.A. paragraph 1236 (2).

Application No. _____ / _____
Date

Property Address: 6 Evergreen Drive

Owner Address: 57 River Rd. Suite 1003 Essex

Owner Name: Pinewood Development, LLC

Phone Number: (home) _____ (work) 878-4606 (cell) 238-3538

Tax Map # 084 Tax Parcel 002 Tax Lot 019

Application is for: (check one)

A) New Curb Cut B) Utility Installation: Overhead Underground

Please use attached diagram to describe location and type of installation.

Comments be Director of Public Works / Town Engineer:

Culvert: Yes No Water Bar(s): Yes No

Culvert Diameter: (18 inch minimum) _____ Total length of Culvert: (30 foot minimum) _____

*** FOR OFFICE USE ONLY ***

Signature of Owner:

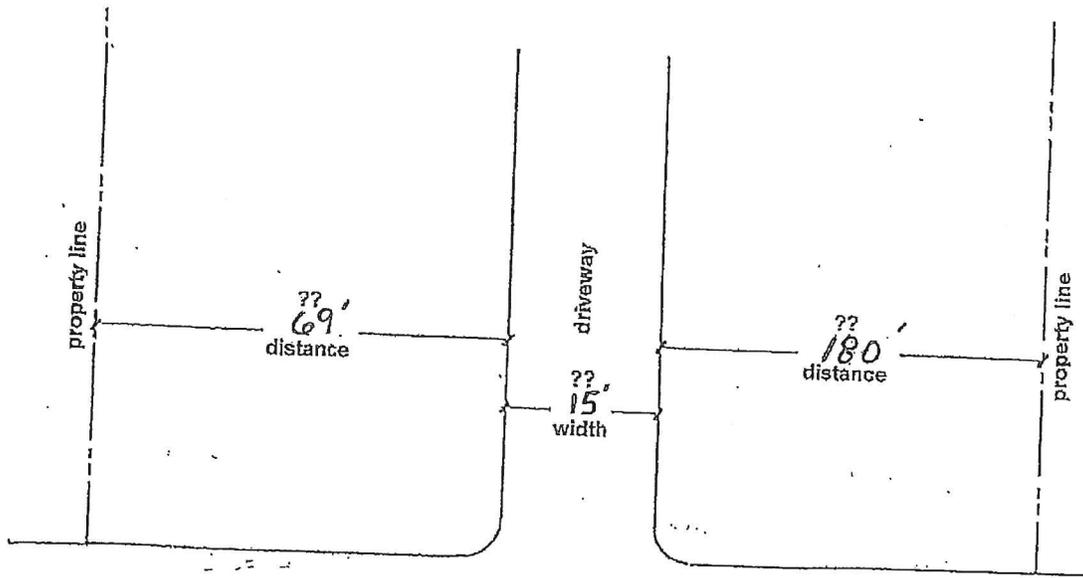
Brian J. Marcotte

Fee Paid \$ _____

Approved Rejected

[Signature] 7/12/18
Per Authority of the Town Manager by the
Director of Public Works / Town Engineer

1. Culvert must be HIGH DENSITY POLYETHYLENE (HDPE) PIPE
2. Culvert will be purchased by the Applicant
Culvert will be purchased and installed by the applicant. The Town of Essex Department of Public Works will inspect.
3. Note: A MINIMUM OF 24 HOURS NOTICE IS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION. WITHIN 24 HOURS OF COMPLETION, THE APPLICANT IS REQUIRED TO NOTIFY THE DIRECTOR OF PUBLIC WORKS / TOWN ENGINEER FOR INSPECTION PURPOSES.



Evergreen Dr.

STREET NAME

Comments and / or special instructions from Director of Public Works / Town Engineer :

1. LOCATION OF CURB CUT SHALL REMAIN
AS CONSTRUCTED

AKM 7-12-18

NOTE: A MINIMUM OF 24 HOURS IS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION. WITHIN 24 HOURS OF COMPLETION, THE APPLICANT IS REQUIRED TO NOTIFY THE DIRECTOR OF PUBLIC WORKS / TOWN ENGINEER FOR INSPECTION PURPOSES.