

Appeal Period Expires: 2/2/18
 Zoning District: AR
Town of Essex, Vermont
Application for Zoning Permit
 www.essex.org
 Application Date: 1/1/18
 Permit Number: 2018-009

All construction is to be completed in accordance with the Town of Essex Zoning Regulations and any/all federal or state regulations now in effect. You are required to post this permit in a conspicuous location on the property during the appeal period and it must remain posted throughout the construction period. **You are required to contact the necessary state agencies to obtain state permits @ 477-2241 (Jeff McMahon, Permit Specialist).**

Any interested person may appeal the decision of the Zoning Administrator to the Zoning Board of Adjustment within fifteen (15) days of the permit's date of issuance. Commencing construction within this fifteen (15) day appeal period is prohibited by law.

Signed: [Signature]

A Parcel Account Numb. (Map-Parcel-Lot) 2-014-023-306
 (found in Town Assessor's Office)
 Property Address: 8 Goodrich Lane Essex VT
Black Rock / Brigham Heights LLC
 Owner: [Redacted]
 Owner Address: 68 Randall St South Burl 05403
 Owner Phone: (work) 802 861-1120 (home) _____
 (cell) _____ (Email) tom@tomhergen.com
 Contractors name: Blackrock Const. Phone: same
 Cell: _____
 Estimated Construction Dates: Start: 2/15/18 Completion: 7/15/18
 Sq. Feet: 1774 Estimated Cost (labor & materials): \$ 240,000

G

Check box(es) which describe proposed use or construction (circle choice in parenthesis).
 N = New A = Addition R = Remodel

Residential: unfished basement

Single Family	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Two-family (duplex)(other)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Multi-family	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Condominium / Townhouse	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mobile home	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Inclusions or Additions:

Garage (attached)(detached)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Porch (open)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Deck	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pool (in) (above) ground	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Shed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Barn (residential) (agriculture)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Non-residential:

Commercial / Industrial	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-------------------------	--------------------------	--------------------------	--------------------------

Stormwater:

Stormwater	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Erosion Control	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Other:

Change in use	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Miscellaneous	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Renewal	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

B Sewage Disposal (Please attach Sewer or Septic Application).
 Public Private Connection Fee \$ 0 Date Paid: 1/1/18
 Proposed New Bedrooms: 3 Existing Bedrooms _____

C Water (Please attach Water Service Application).
 Public Private Fee \$ 0 Date Paid: 1/1/18

D Driveway (Please attach copy of approved Curbcut / Utility Application).
 Date of approval 1/18/18 attached

E Stormwater

Project disturbs an area greater than or equal to 1 acre – Erosion Control Permit Required. Attach completed permit application.

Project creates new or expands existing impervious surface greater than or equal to 1/2 acre – Erosion Control Permit and Stormwater Management Permit required. Attach completed permit application.

F Diagram – Show a sketch of project on reverse of this application with property lines, building, and setbacks or attach separate sheet.

G TO BE constructed pursuant to Planning Commission approval # 2012-19

Signature of Tenant and Signature of Owner: [Signature]

Office Use Only

Fees:	Type	Amount	Date Pd.
Permit		\$ <u>600</u>	<u>1/17/18</u>
Recreation		\$ <u>628.00</u>	<u>1/17/18</u>
Recording		\$ <u>20</u>	<u>1/17/18</u>
Certificate of Occ		\$ <u>75</u>	<u>1/17/18</u>
Other		\$ _____	<u>1/1/18</u>

Building Permit
 Approved Rejected Date: 1/18/18

Issued to: Black Rock / Brigham Heights LLC

Zoning Administrator: Shawn L Kelly

Notes: energy info given

C.O. Required Yes No

This elevation is valid and a part of the contract, see notes below.

LB
12/20/17
11:29AM EST

DC
12/19/17
10:12PM EST

FHJ
12/20/17
2:06PM EST

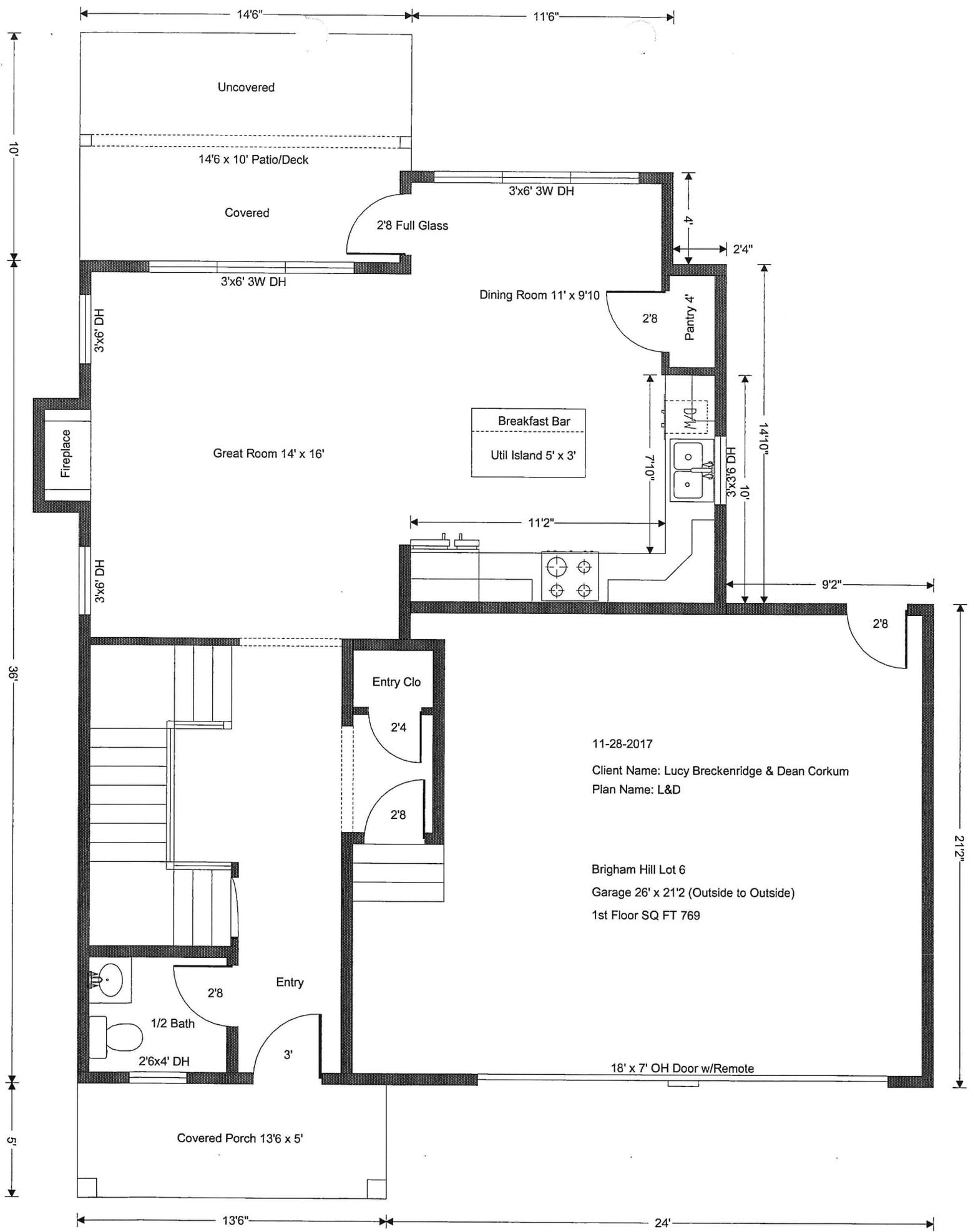


- Final elevation may vary
- Vinyl shakes included for (2) front gables
- Siding is standard 4" exposure vinyl lap siding - client to select color
- windows as per floor plan & spec sheet
- House to be built as per floor plan
- (6) Corbels included - (3) in each gable - vinyl
- Columns as per spec sheet
- Garage door as per spec sheet
- Gables to have boxed returns w/ flat soffit

LB
12/20/17
11:29AM EST

DC
12/19/17
10:12PM EST

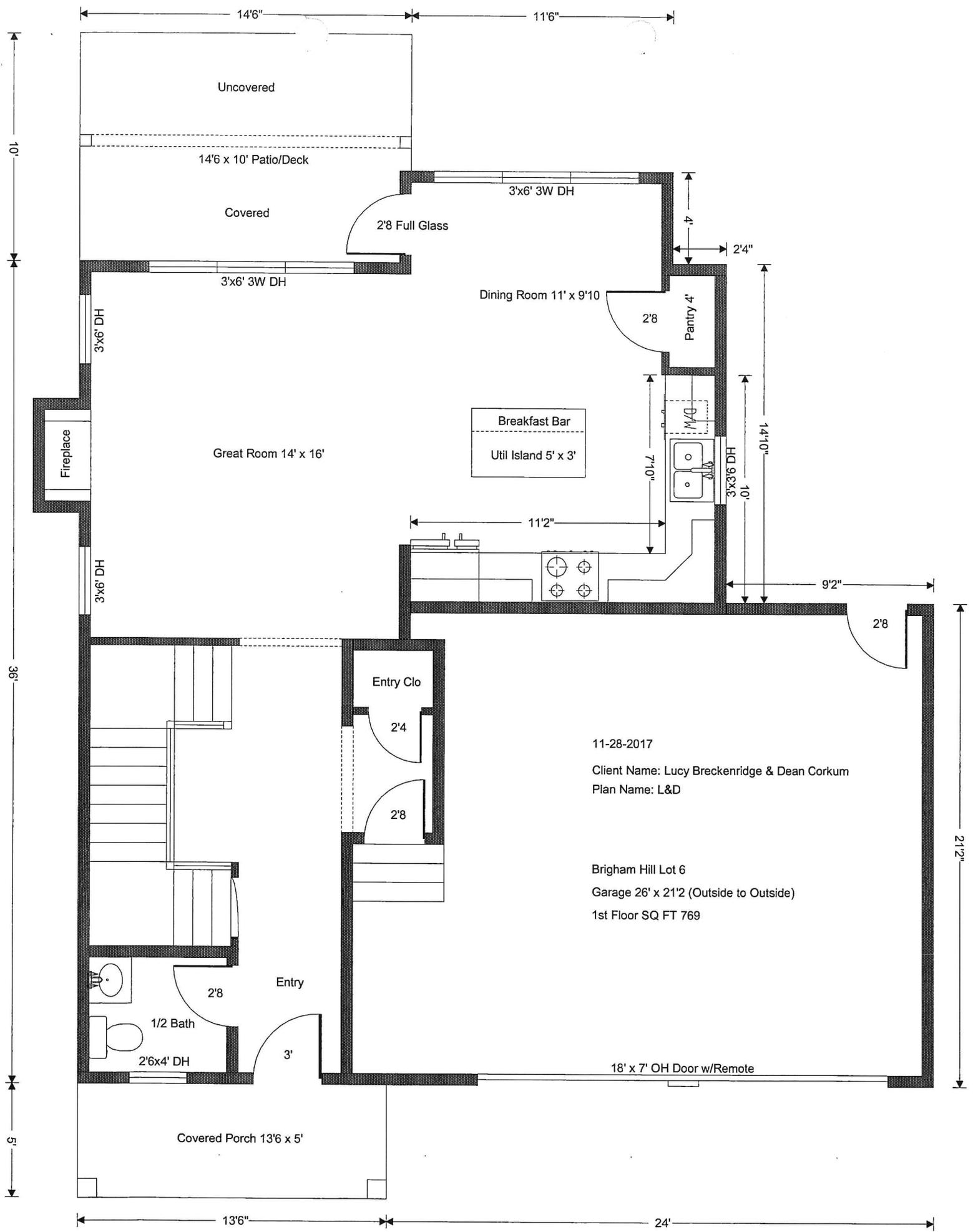
FHJ
12/20/17
2:06PM EST

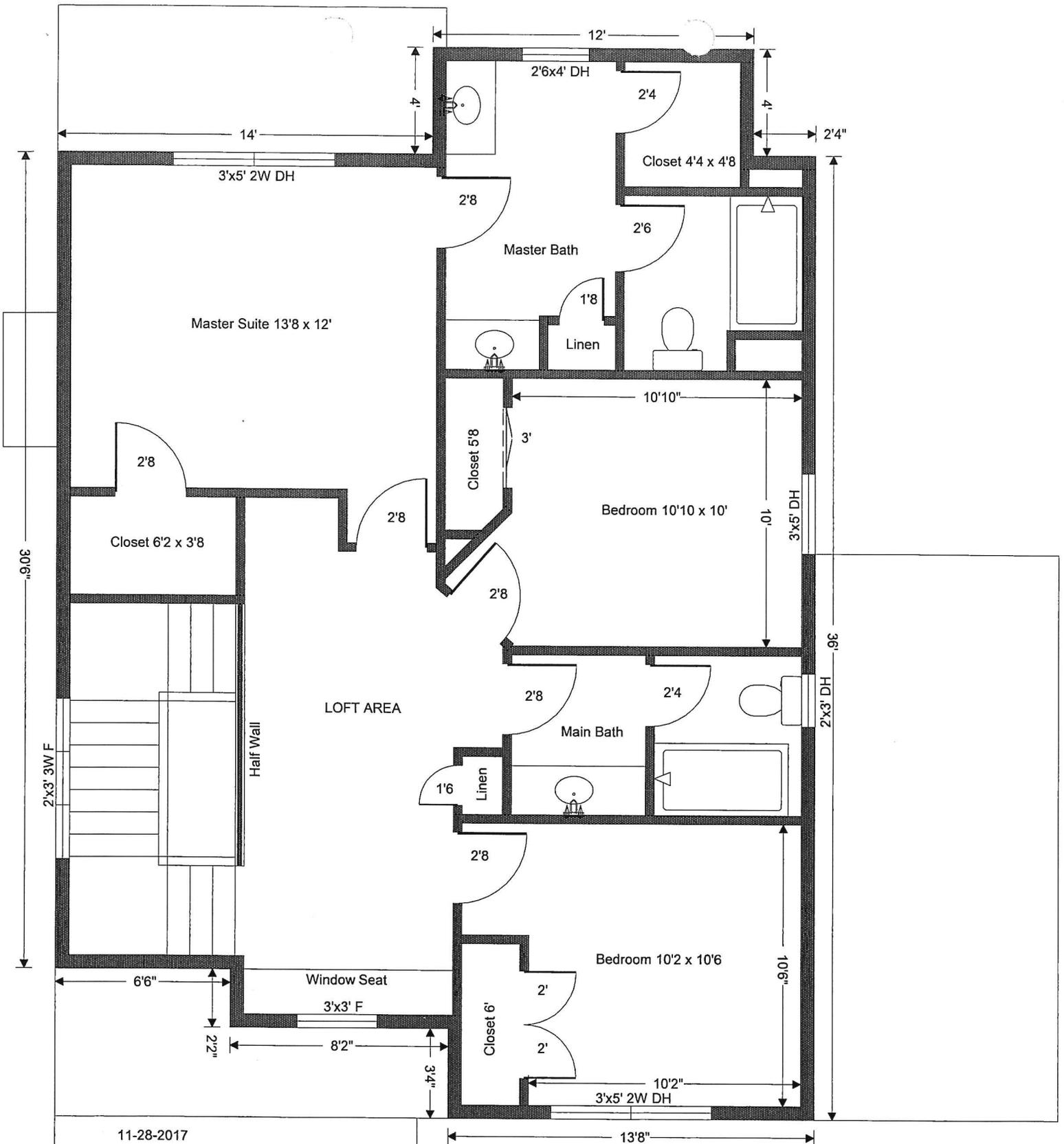


11-28-2017
 Client Name: Lucy Breckenridge & Dean Corkum
 Plan Name: L&D

Brigham Hill Lot 6
 Garage 26' x 21'2 (Outside to Outside)
 1st Floor SQ FT 769

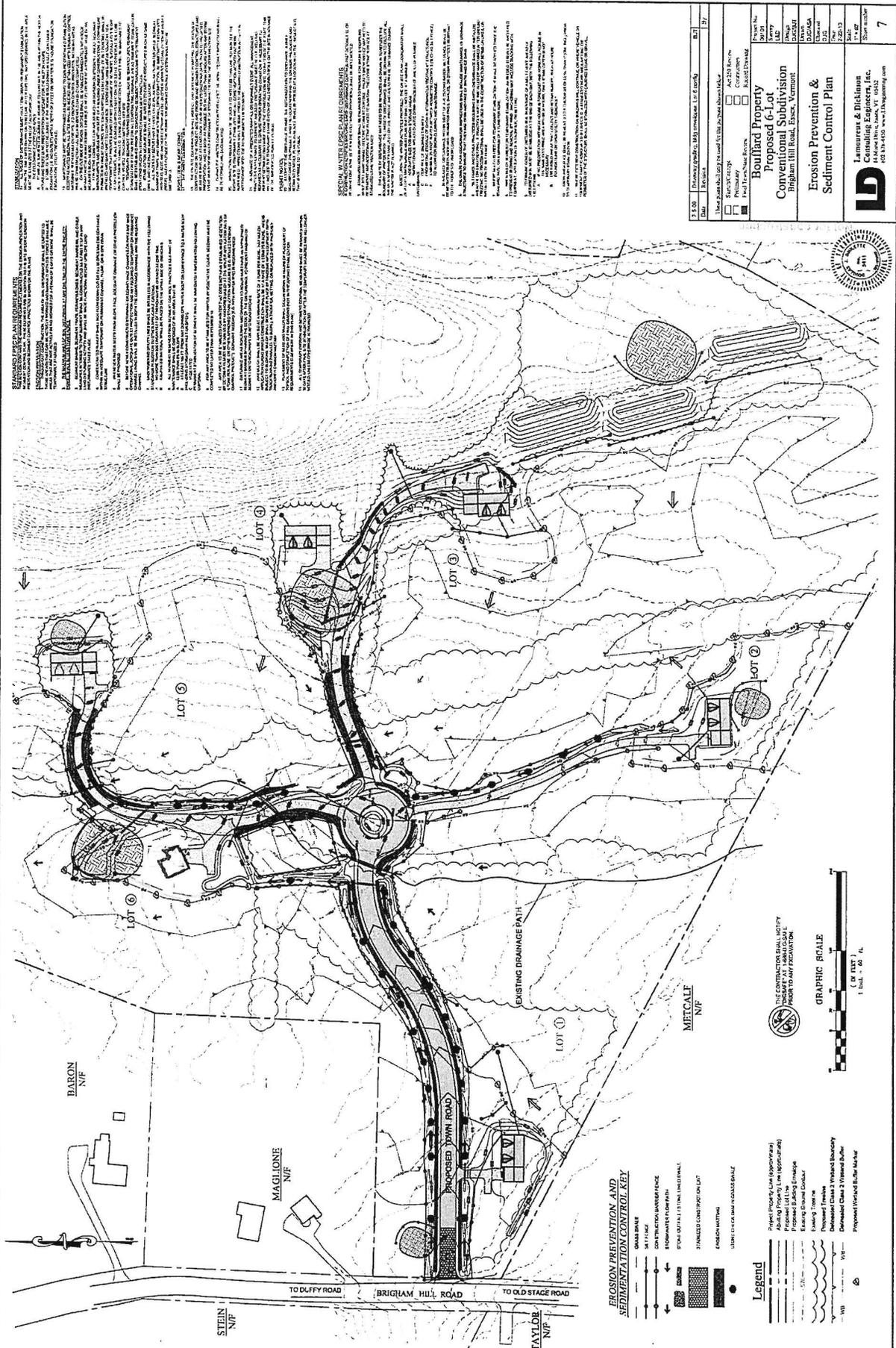
18' x 7' OH Door w/Remote





11-28-2017
 BlackRock Construction, LLC
 Client Name: Lucy Breckenridge & Dean Corkum
 Plan name: L&D
 2nd Floor SQ FT 1005
 Total SQ FT 1774

Building Envelope
 Approx horse location



STANDARD SPECIFICATIONS FOR EROSION PREVENTION AND SEDIMENTATION CONTROL MEASURES

1. EROSION PREVENTION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

2. EROSION PREVENTION AND SEDIMENTATION CONTROL MEASURES SHALL BE DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

3. EROSION PREVENTION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

4. EROSION PREVENTION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED OR MODIFIED AS NECESSARY TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION.

5. EROSION PREVENTION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

6. EROSION PREVENTION AND SEDIMENTATION CONTROL MEASURES SHALL BE DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

7. EROSION PREVENTION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

8. EROSION PREVENTION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED OR MODIFIED AS NECESSARY TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION.

9. EROSION PREVENTION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

10. EROSION PREVENTION AND SEDIMENTATION CONTROL MEASURES SHALL BE DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

SPECIAL WATER EROSION AND SEDIMENTATION CONTROL MEASURES

1. SPECIAL WATER EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

2. SPECIAL WATER EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

3. SPECIAL WATER EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

4. SPECIAL WATER EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED OR MODIFIED AS NECESSARY TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION.

5. SPECIAL WATER EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

6. SPECIAL WATER EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

7. SPECIAL WATER EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

8. SPECIAL WATER EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED OR MODIFIED AS NECESSARY TO ACCOMMODATE THE PROGRESS OF CONSTRUCTION.

9. SPECIAL WATER EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

10. SPECIAL WATER EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.

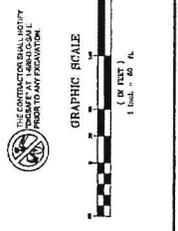
7.3.50	Priority grading, 100% compliance, 1 or 2 study	0-17	BY
7.3.51	Priority grading, 100% compliance, 1 or 2 study	0-17	BY
These plans shall apply to all lots shown on this plan.			
EROSION PREVENTION AND SEDIMENTATION CONTROL MEASURES			
<input type="checkbox"/> Final Erosion Prevention <input type="checkbox"/> Final Sedimentation Control <input type="checkbox"/> Final Drainage			
Boulevard Property Proposed 6-Lot Conventional Subdivision Brigham Hill Road, Essex, Vermont			
Erosion Prevention & Sedimentation Control Plan			
LD Lamoreaux & Dickinson Consulting Engineers, Inc. 144 New Street, Essex, VT 05452 802.875.4101 www.ldengineering.com			
7			

EROSION PREVENTION AND SEDIMENTATION CONTROL KEY

- GRASS SWALE
- SILT FENCE
- SEDIMENT TRAP
- STABILIZED CONSTRUCTION LOT
- EROSION MATTING
- STREET EROSION CONTROL SWALE

Legend

- Property Lines (Aggravated)
- Abutting Property Lines (Aggravated)
- Proposed Building Envelope
- Existing Structure
- Existing Structure
- Demarcated Class 3 Wetland Boundary
- Proposed Wetland Buffer



SOIL PROFILE SUMMARY

LOCATED AT POINTS INDICATED ON SHEET 101 OF PL AND 102 OF PL

TEST NO.	DEPTH (ft)	SOIL TYPE	PERCENT SAND (%)	PERCENT SILT (%)	PERCENT CLAY (%)	LIQUID LIMIT (LL)	PLASTIC LIMIT (PL)	PLASTICITY INDEX (PI)	UNSATURATED WATER CONTENT (%)
78-2	3.1	CL	44.4	44.4	11.2	24.4	13.2	11.2	24.4
78-3	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-4	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-5	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-6	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-7	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-8	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-9	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-10	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-11	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-12	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-13	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-14	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-15	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-16	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-17	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-18	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-19	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-20	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-21	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-22	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-23	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-24	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-25	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-26	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-27	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-28	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-29	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	
78-30	3.1	CL	44.4	44.4	11.2	24.4	13.2	24.4	

PERCOLATION TESTS

PERFORMED BY BOB HANCOCK (BOB'S)

TEST NO.	DEPTH (ft)	PERCOLATION RATE (in/hr)
78-1	3.1	1.8
78-2	3.1	1.8
78-3	3.1	1.8
78-4	3.1	1.8
78-5	3.1	1.8
78-6	3.1	1.8
78-7	3.1	1.8
78-8	3.1	1.8
78-9	3.1	1.8
78-10	3.1	1.8
78-11	3.1	1.8
78-12	3.1	1.8
78-13	3.1	1.8
78-14	3.1	1.8
78-15	3.1	1.8
78-16	3.1	1.8
78-17	3.1	1.8
78-18	3.1	1.8
78-19	3.1	1.8
78-20	3.1	1.8
78-21	3.1	1.8
78-22	3.1	1.8
78-23	3.1	1.8
78-24	3.1	1.8
78-25	3.1	1.8
78-26	3.1	1.8
78-27	3.1	1.8
78-28	3.1	1.8
78-29	3.1	1.8
78-30	3.1	1.8

Owner and Applicant:
 Bouffard Property
 40 Paul Hill Road, East, Vermont
 Northfield, VT 05602

Project Soil Tests:
 Performed by Bob Hancock (BOB'S)
 544 Route 100, Northfield, VT 05602
 802-251-1111
 21 ft
 Single, fully saturated
 Performed in accordance with ASTM D1586
 Water supply:
 Individual test results

Project Soil Tests:
 Performed by Bob Hancock (BOB'S)
 544 Route 100, Northfield, VT 05602
 802-251-1111
 21 ft
 Single, fully saturated
 Performed in accordance with ASTM D1586
 Water supply:
 Individual test results

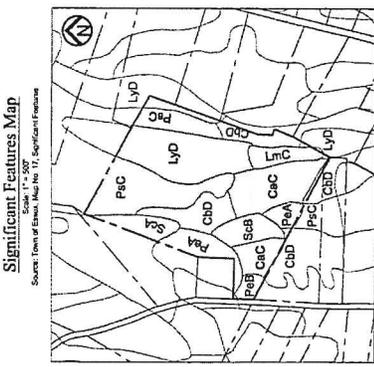
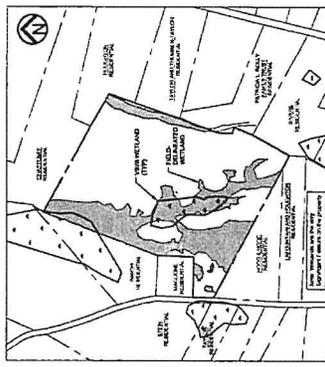
These materials shall be used for the purposes indicated below:

Subgrade
 Primary
 Final Topsoil
 Final Topsoil
 Final Topsoil
 Final Topsoil

Bouffard Property
Proposed 6-1 Lot
Conventional Subdivision
 Brigham Hill Road, East, Vermont

Overall Site Plan

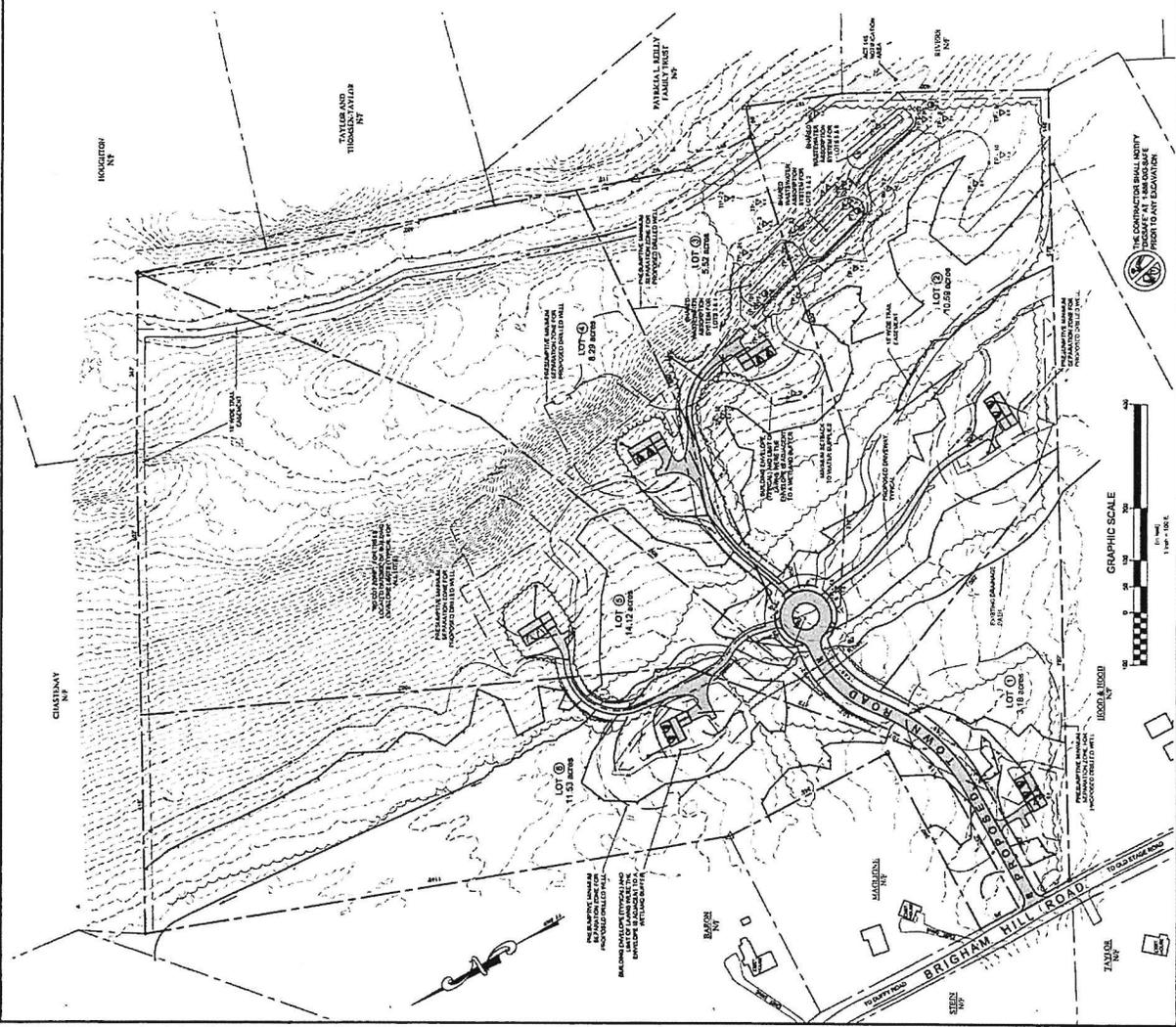
LD
 Lammert & Dickinson
 Consulting Engineers, Inc.
 100 North Main Street, Northfield, VT 05602
 802-251-4105, lammert@ldce.com



Legend

- Adjacent Property Line (Hypothetical)
- Proposed Lot Line
- Proposed Easement
- Existing Ground Contour
- Proposed Easement
- Soil Foot Print
- Demarcated Class 2 Wetland Boundary
- Approximate Wetland Boundary
- Demarcated Class 2 Wetland Buffer

Soil Classification Legend:
 SSB - Silty Sand
 Cbc - Clayey Sand
 Lyp - Lithomorphous clayey silt
 Psc - Poorly sorted sand
 Ssb - Silty sand
 Ssc - Silty sand
 Ssl - Silty sand



**TOWN OF ESSEX, VERMONT
APPLICATION FOR CURB CUT / UTILITY PERMIT**

Pursuant to Title 19 V.S.A. Section 43. Application for curb cut and Utility Installation in Town Right-of-Way

All applications for curb cuts and utility installations shall be submitted to the Director of Public Works / Town Engineer for review. Applicants shall submit the information requested on this form and any additional information requested by the Director of Public Works / Town Engineer for a clear understanding of this application. The permit is issued under authority of the Town Manager in accordance with Section 601 of the Town Charter and 24 V.S.A. paragraph 1236 (2).

Application No. _____ / _____
Date

Property Address: 8 Goodrich Lane

Owner Address: Same

Owner Name: Black Rock Construction

Phone Number: (home) 310-4612 (work) same (cell) same

Tax Map # 014 Tax Parcel 023 Tax Lot 306

Application is for: (check one)

A) New Curb Cut B) Utility Installation: Overhead Underground

Please use attached diagram to describe location and type of installation.

Comments be Director of Public Works / Town Engineer:

Culvert: Yes No

Water Bar(s): Yes No

Culvert Diameter: (18 inch minimum) _____

Total length of Culvert: (30 foot minimum) _____

*** FOR OFFICE USE ONLY ***

Signature of Owner:

[Signature]

Fee Paid \$ _____

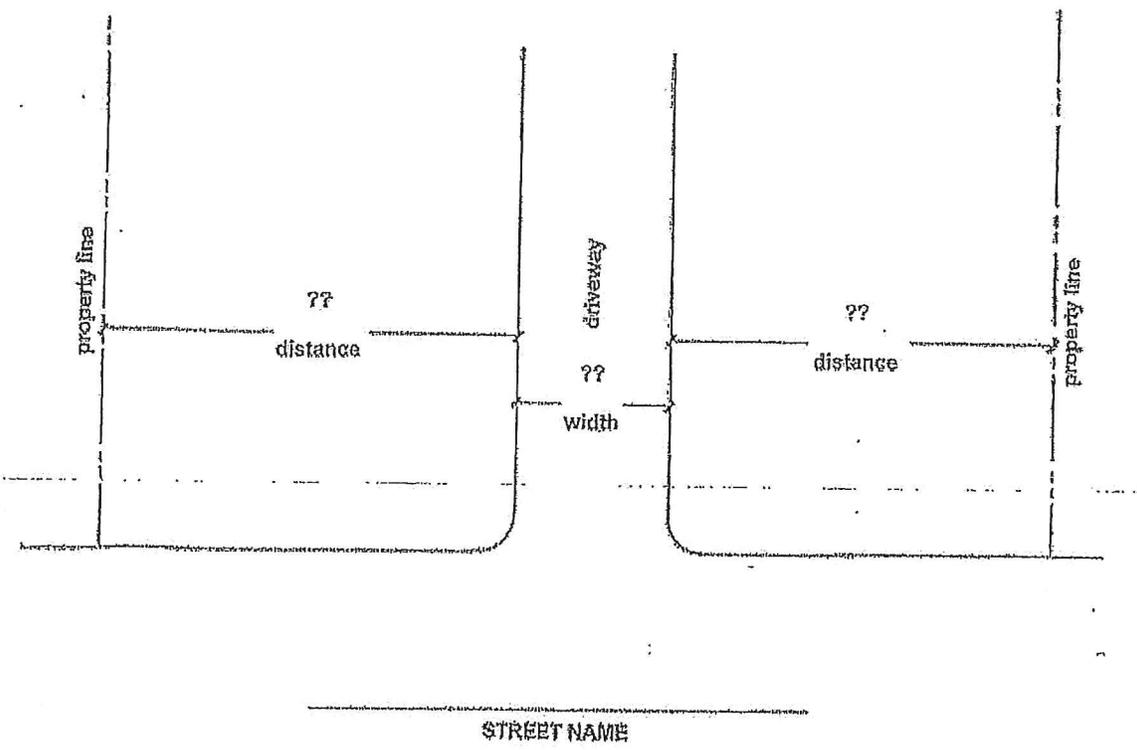
Approved Rejected

[Signature] 1/18/18

Per Authority of the Town Manager by the
Director of Public Works / Town Engineer

1. Culvert must be HIGH DENSITY POLYETHYLENE (HDPE) PIPE
2. Culvert will be purchased by the Applicant
Culvert will be purchased and installed by the applicant. The Town of Essex Department of Public Works will inspect.
- 3.

Note: A MINIMUM OF 24 HOURS NOTICE IS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION. WITHIN 24 HOURS OF COMPLETION, THE APPLICANT IS REQUIRED TO NOTIFY THE DIRECTOR OF PUBLIC WORKS / TOWN ENGINEER FOR INSPECTION PURPOSES.



Comments and / or special instructions from Director of Public Works / Town Engineer :

1. NO ALTERATIONS TO THE EXISTING DRIVE AND APREN WILL BE ALLOWED.

AICM 1-18-18

NOTE: A MINIMUM OF 24 HOURS IS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION. WITHIN 24 HOURS OF COMPLETION, THE APPLICANT IS REQUIRED TO NOTIFY THE DIRECTOR OF PUBLIC WORKS / TOWN ENGINEER FOR INSPECTION PURPOSES.