

Appeal Period Expires <u>8/21/07</u> Zoning District <u>AR</u>	<b>Town of Essex, Vermont</b> <b>Application for Zoning Permit</b> www.essex.org	Application Date <u>7/27/2007</u> Permit Number <u>2007-118</u>
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All construction is to be completed in accordance with the Town of Essex Zoning Regulations and any/all federal or state regulations now in effect. You are required to post this permit in a conspicuous location on the property and it must remain posted throughout the construction period.

Any interested person may appeal the decision of the Zoning Administrator to the Zoning Board of Adjustment within fifteen (15) days of the permit's date of issuance. Commencing construction within this fifteen (15) day appeal period is prohibited by law.

Occupancy of the premises shall not take place until a Certificate of Occupancy is obtained.

Approval is subject to accuracy of information provided by the applicant.

<b>A</b>	<b>Parcel Account Numb. (Map-Parcel-Lot)</b> <u>2-021-030-003</u> <small>(found in Town Assessor's Office)</small> <b>Property Address :</b> <u>3 Naylor Rd (Lot 6)</u> <b>Owner:</b> <u>RiverWood Partnership LLC</u> <b>Owner Address:</b> <u>4049 Williston Rd S. Burd. VT</u> <b>Owner Phone:</b> (work) <u>864-0600</u> (home) _____ (cell) _____ (Email) _____ <b>Contractors name:</b> <u>Stirling Construct.</u> Phone: <u>864-0600</u> Cell: _____ <b>Estimated Construction Dates:</b> Start: <u>07/30/07</u> Completion: <u>12/21/07</u> <b>Sq. Feet:</b> <u>2321</u> <b>Estimated Cost (labor &amp; materials):</b> \$ <u>280,000</u>		<b>G</b>																								
<b>B</b>	<b>Sewage Disposal (Please attach Sewer or Septic Application).</b> Public <input type="checkbox"/> Private <input checked="" type="checkbox"/> Connection Fee \$ <u>218.00</u> Date Paid: <u>1/1</u> Proposed New Bedrooms: <u>3</u> Existing Bedrooms _____ <small>State permit WW-4-2478-1</small>		Check box(es) which describe proposed use or construction (circle choice in parenthesis). N = New A = Addition R = Remodel <b>Residential:</b> Single Family <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Two-family (duplex)(other) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Multi-family <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Condominium / Townhouse <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Mobile home <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <b>Inclusions or Additions:</b> Garage (attached) (detached) <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Porch (enclosed) (open) <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Deck <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Pool (in) (above) ground <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Shed <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Barn (residential) (agriculture) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <b>Non-residential:</b> Commercial / Industrial <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <b>Stormwater:</b> Stormwater <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Erosion Control <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <b>Other:</b> Change in use <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Miscellaneous <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Renewal <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>																								
<b>C</b>	<b>Water (Please attach Water Service Application).</b> Public <input type="checkbox"/> Private <input checked="" type="checkbox"/> Fee \$ <u>N/A</u> Date Paid: <u>1/1</u>																										
<b>D</b>	<b>Driveway (Please attach copy of approved Curbcut / Utility Application).</b> Date of approval <u>9/16/06</u>																										
<b>E</b>	<b>Stormwater</b> <input checked="" type="checkbox"/> Project disturbs an area greater than or equal to 1 acre – Erosion Control Permit Required. Attach completed permit application. <input type="checkbox"/> Project creates new or expands existing impervious surface greater than or equal to 1/2 acre – Erosion Control Permit and Stormwater Management Permit required. Attach completed permit application.																										
<b>F</b>	<b>Diagram – Show a sketch of project on reverse of this application with property lines, building, and setbacks or attach separate sheet. (Instruction sheet available upon request.)</b>  <u>Reference attachments</u>																										
<b>G</b>	Signature of Owner <u>[Signature]</u>		<b>Office Use Only</b> <table style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Fees:</th> <th style="text-align: left;">Type</th> <th style="text-align: left;">Amount</th> <th style="text-align: left;">Date Pd</th> </tr> </thead> <tbody> <tr> <td></td> <td>Permit</td> <td>\$ <u>700</u></td> <td><u>1/1/07</u></td> </tr> <tr> <td></td> <td>School</td> <td>\$ <u>2,877.75</u></td> <td><u>9/11/07</u></td> </tr> <tr> <td></td> <td>Recreation</td> <td>\$ <u>604.00</u></td> <td><u>1/1/07</u></td> </tr> <tr> <td></td> <td>Recording</td> <td>\$ <u>16.00</u></td> <td><u>1/1/07</u></td> </tr> <tr> <td></td> <td>Other</td> <td>\$ <u>75</u></td> <td><u>1/1/07</u></td> </tr> </tbody> </table> <b>Building Permit</b> Approved <input checked="" type="checkbox"/> Rejected <input type="checkbox"/> Date <u>8/16/07</u> Issued to: <u>Riverwood Partnership LLC</u> Zoning Administrator: <u>[Signature]</u> Notes: _____ _____ _____ C.O. Required Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Fees:	Type	Amount	Date Pd		Permit	\$ <u>700</u>	<u>1/1/07</u>		School	\$ <u>2,877.75</u>	<u>9/11/07</u>		Recreation	\$ <u>604.00</u>	<u>1/1/07</u>		Recording	\$ <u>16.00</u>	<u>1/1/07</u>		Other	\$ <u>75</u>	<u>1/1/07</u>
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**THIS PERMIT VALID FOR TWELVE (12) MONTHS FROM DATE OF ISSUE**

For: RWF, LLC

30,866 sq. ft.)  
Depth:width = 4.9

Lot 5  
3.0 acres  
(131,026 sq. ft.)  
Depth:width = 4.1

Lot 6  
3.0 acres  
(131,482 sq. ft.)  
Depth:width = 2.0

BENCHMARK  
TOP OF IRON REBAR  
ELEV.=522.48

Existing barn  
Existing equipment shed  
Proposed shared driveway

30' wide driveway  
easement from  
Lot 6 to Lot 5

Wastewater  
system

Wastewater  
system

Wastewater  
replacement  
area

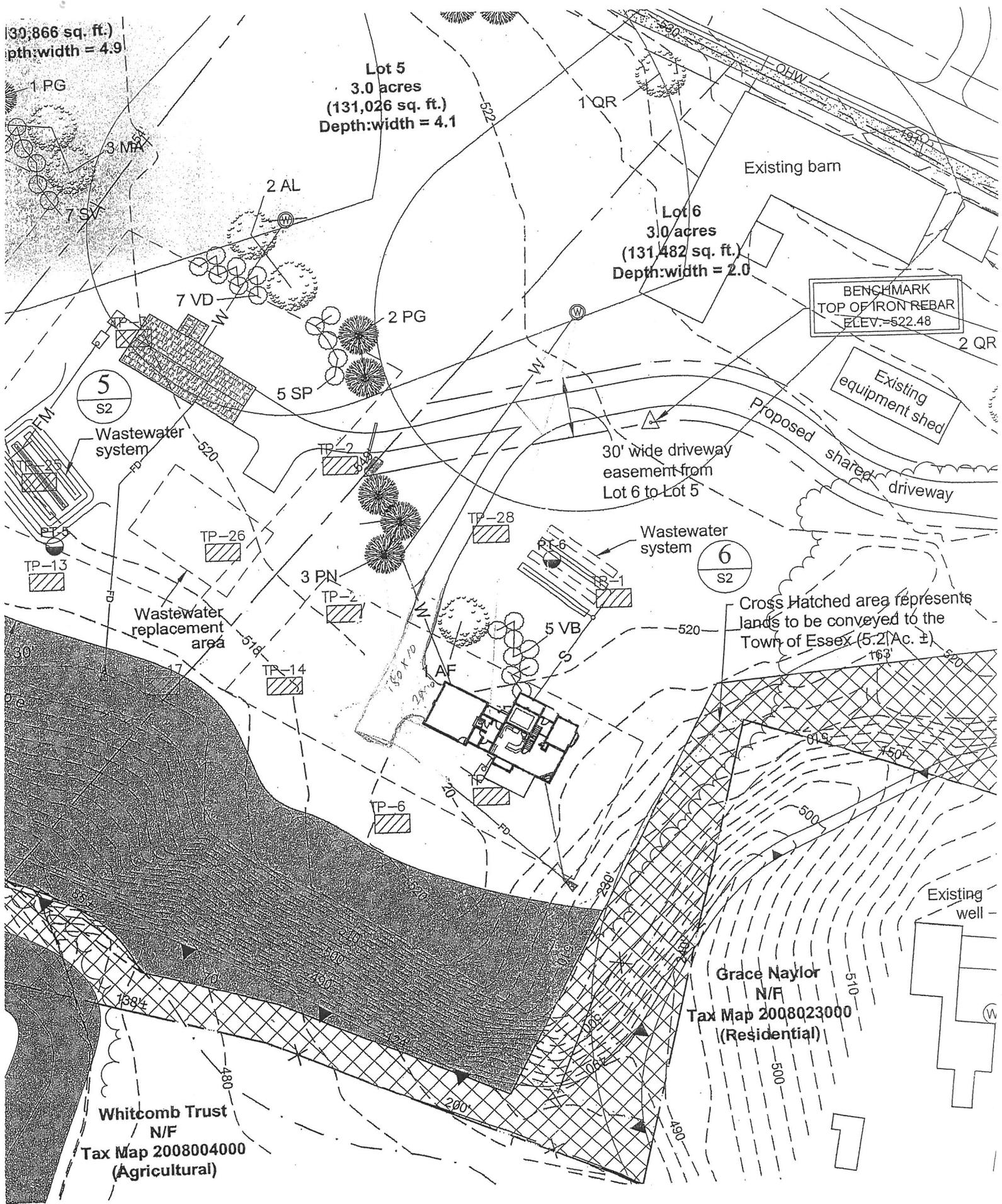
Cross Hatched area represents  
lands to be conveyed to the  
Town of Essex (5.2 Ac. ±)

Whitcomb Trust  
N/F  
Tax Map 2008004000  
(Agricultural)

Grace Naylor  
N/F  
Tax Map 2008023000  
(Residential)

Existing well

Percolation Testing  
Performed by Dan Boucher on Feb 4 & 7, 2004



F Diagram – Provide diagram here and include all setbacks



+/- 320'

+/- 50'

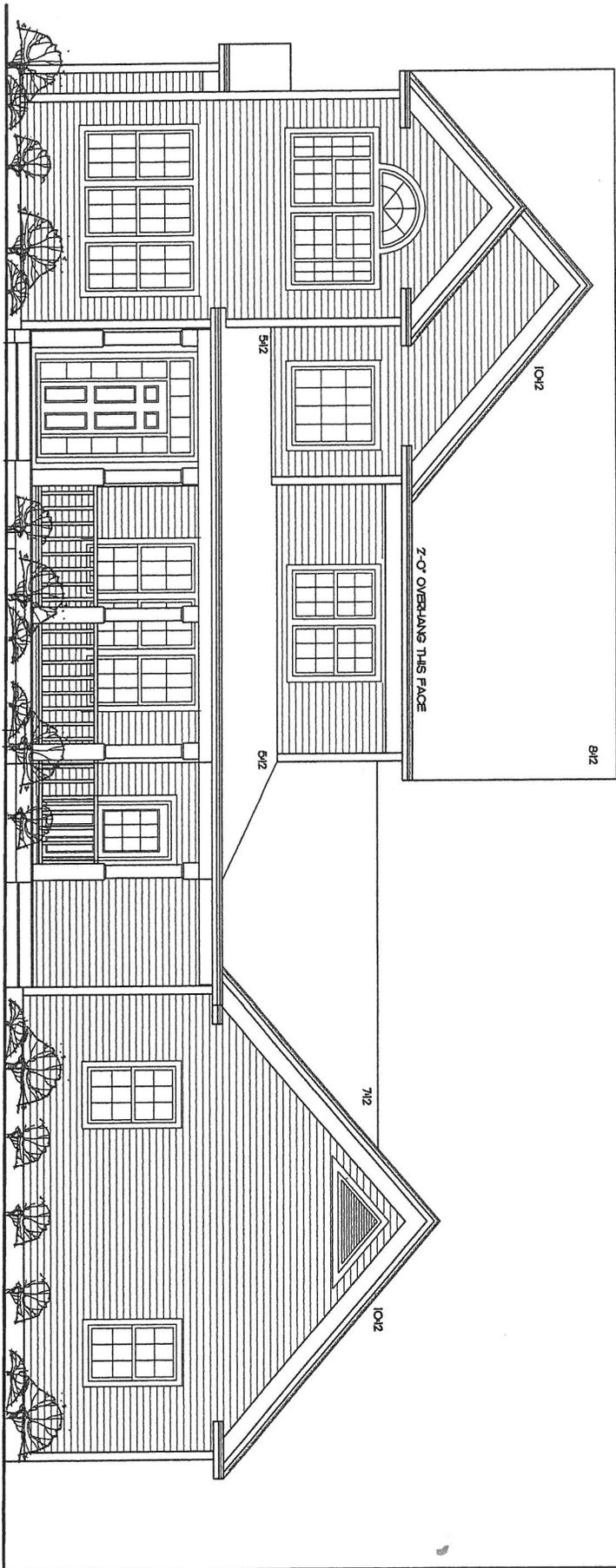
+/- 60'

+/- 100'

WATER SERVICE

RIVERWOOD  
SULLIVAN RESIDENCE - FLOOR PLANS  
EST.

CONSTRUCTION, INC. 2012  
408 WILSON RD., S. BURLINGTON VT. 05403  
BOB & JANE F. COE      DATE: 7/23/07

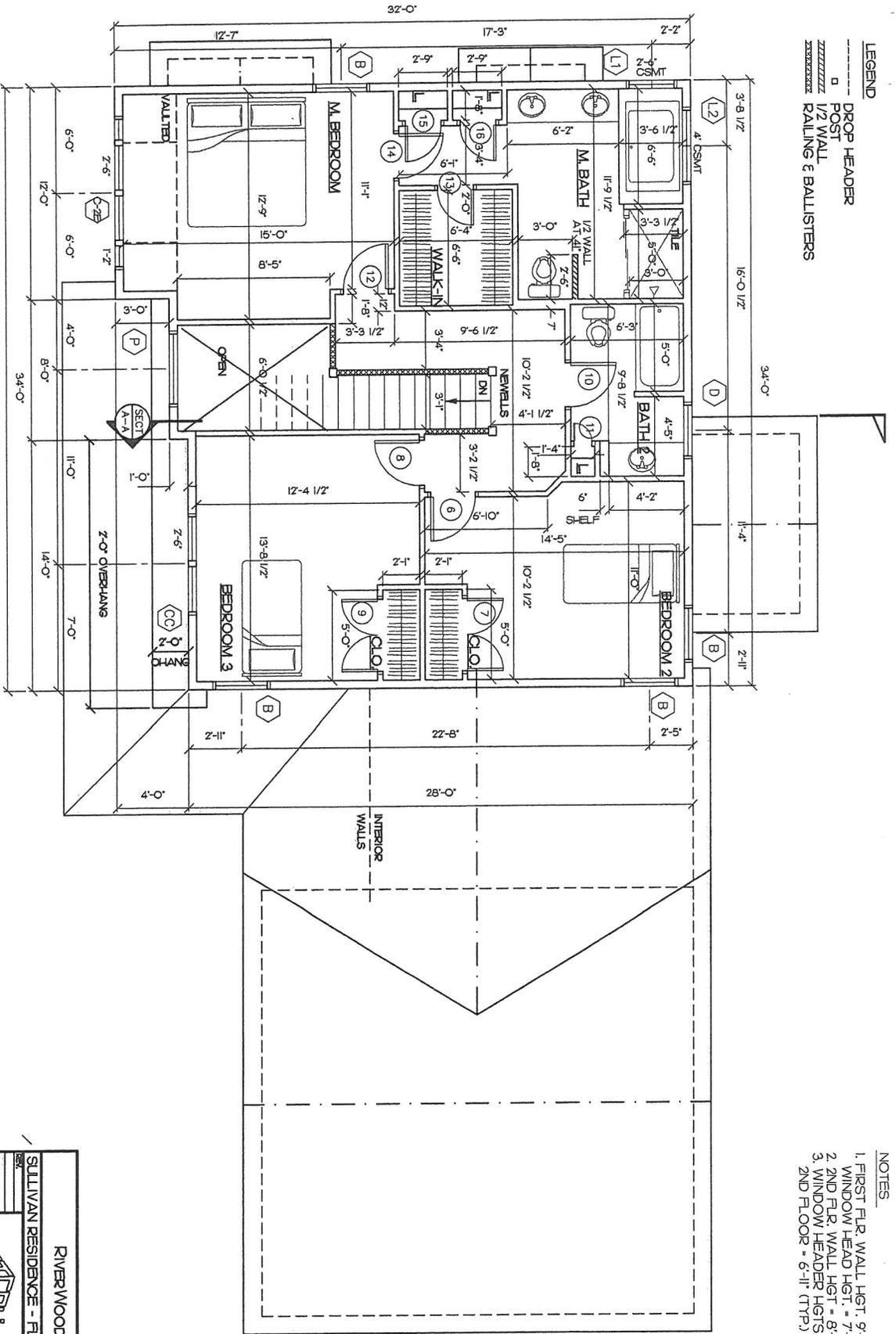


CONTRACT SET 7/25/07

<p>RIVER WOOD</p> <p>SULLIVAN RESIDENCE - ELEVATIONS</p>	
<p><b>SPELINS</b> CONSTRUCTION, INC.</p> <p>400 MILLER RD. &amp; BARKER TR. DR. #2 BOULDER, CO 80501</p> <p>DATE: 7/25/07</p>	<p>7/25/07</p>



**LEGEND**  
 --- PROP HEADER  
 □ POST  
 ZZZZZZ 1/2 WALL  
 XXXXXXXX RAILING & BALUSTERS



**FIRST FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"

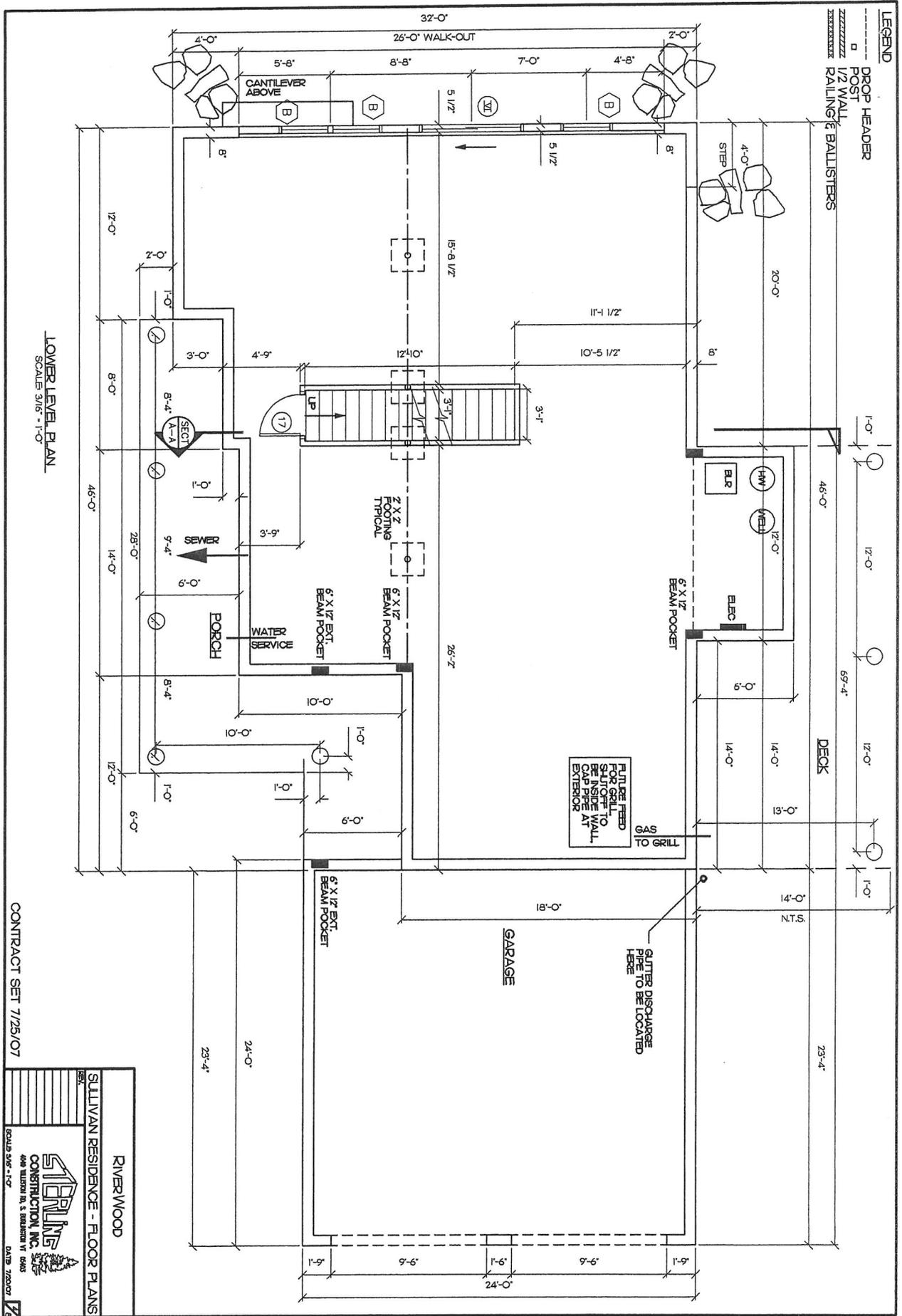
**NOTES**  
 1. FIRST FLR. WALL HGT. 9'-1"; WINDOW HEAD HGT. = 7'-11" (TYP)  
 2. 2ND FLR. WALL HGT = 8'-1"  
 3. WINDOW HEADER HGTs. ON 2ND FLOOR = 6'-11" (TYP)

CONTRACT SET 7/25/07

**RIVERWOOD**  
**SULLIVAN RESIDENCE - FLOOR PLANS**

**STERLING CONSTRUCTION INC.**  
 4000 WILSON BL. & BELLEVILLE VI. 6000  
 SCALE: 3/16" = 1'-0" DATE: 7/25/07

**LEGEND**  
 --- DROP HEADER  
 □ POST  
 ▤ 1/2 WALL  
 - - - - - RAILING & BALUSTERS

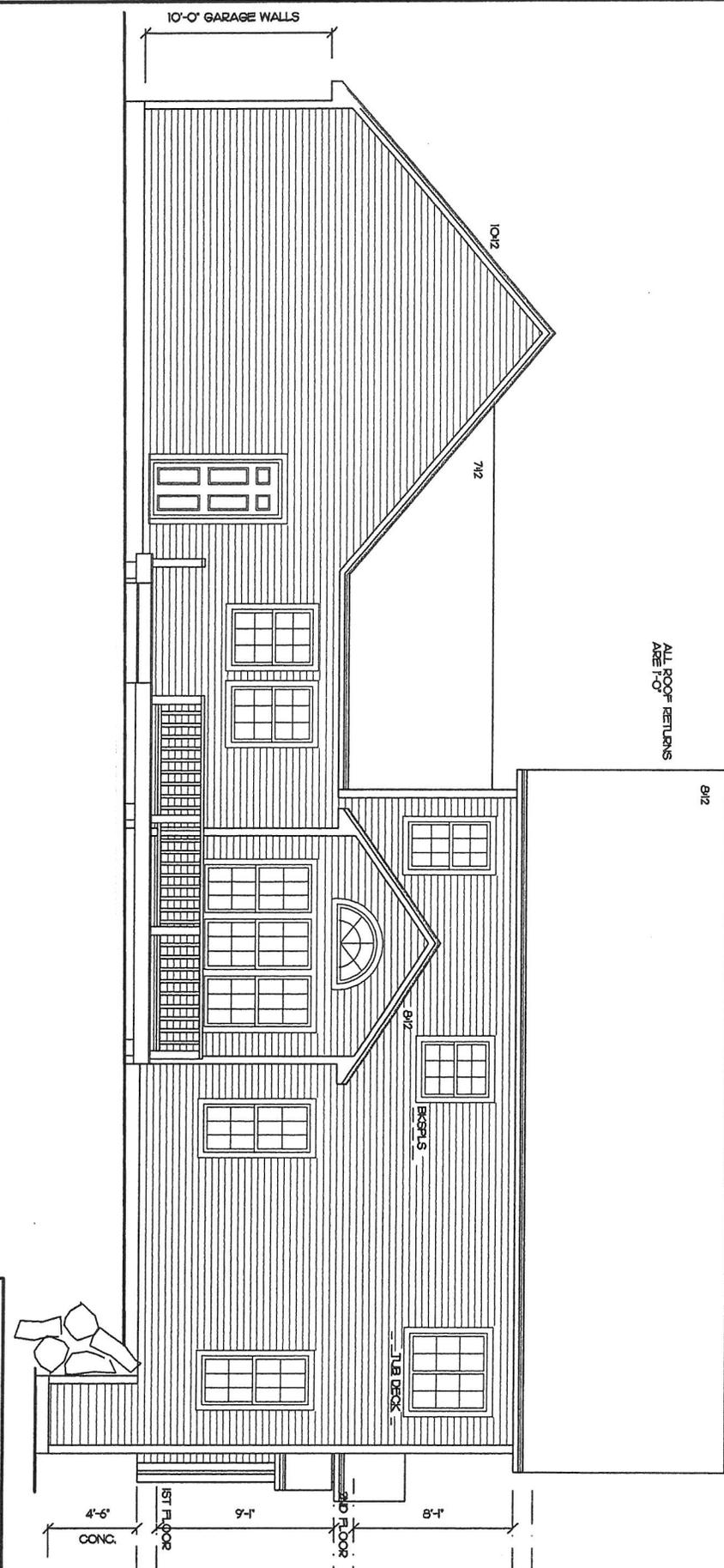


LOWER LEVEL PLAN  
 SCALE: 3/16" = 1'-0"

CONTRACT SET 7/25/07

RIVERWOOD  
 SULLIVAN RESIDENCE - FLOOR PLANS

**SIBLING**  
 CONSTRUCTION, INC.  
 499 WILSON BL. & BROADWAY VI 23062  
 804.634.1100 DATE: 7/25/07



ALL ROOF RETURNS  
ARE 1'-0"

CONTRACT SET 7/25/07

RIVER WOOD

SULLIVAN RESIDENCE - ELEVATIONS



SULLIVAN  
CONSTRUCTION, INC.

400 WESTERN BL. S. BRANFORD, VT 05203

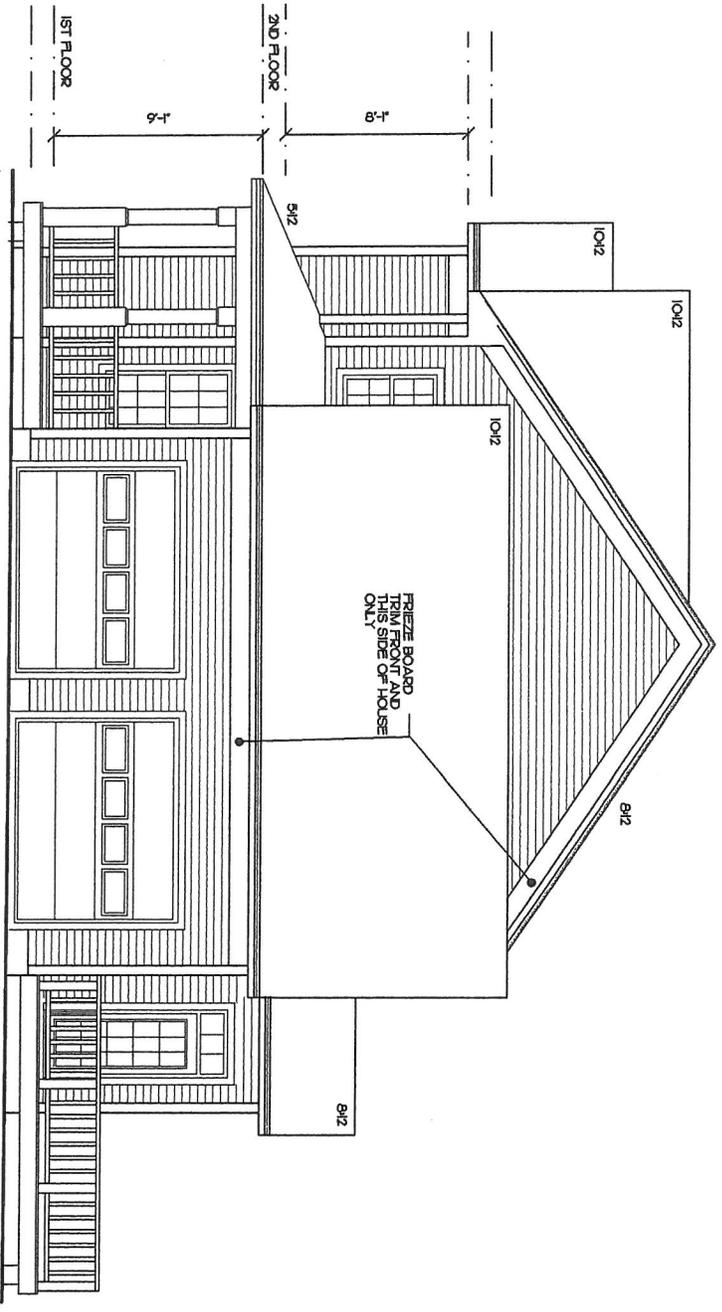
PHONE 802-535-4100

DATE 7/25/07

4'-6" CONC.

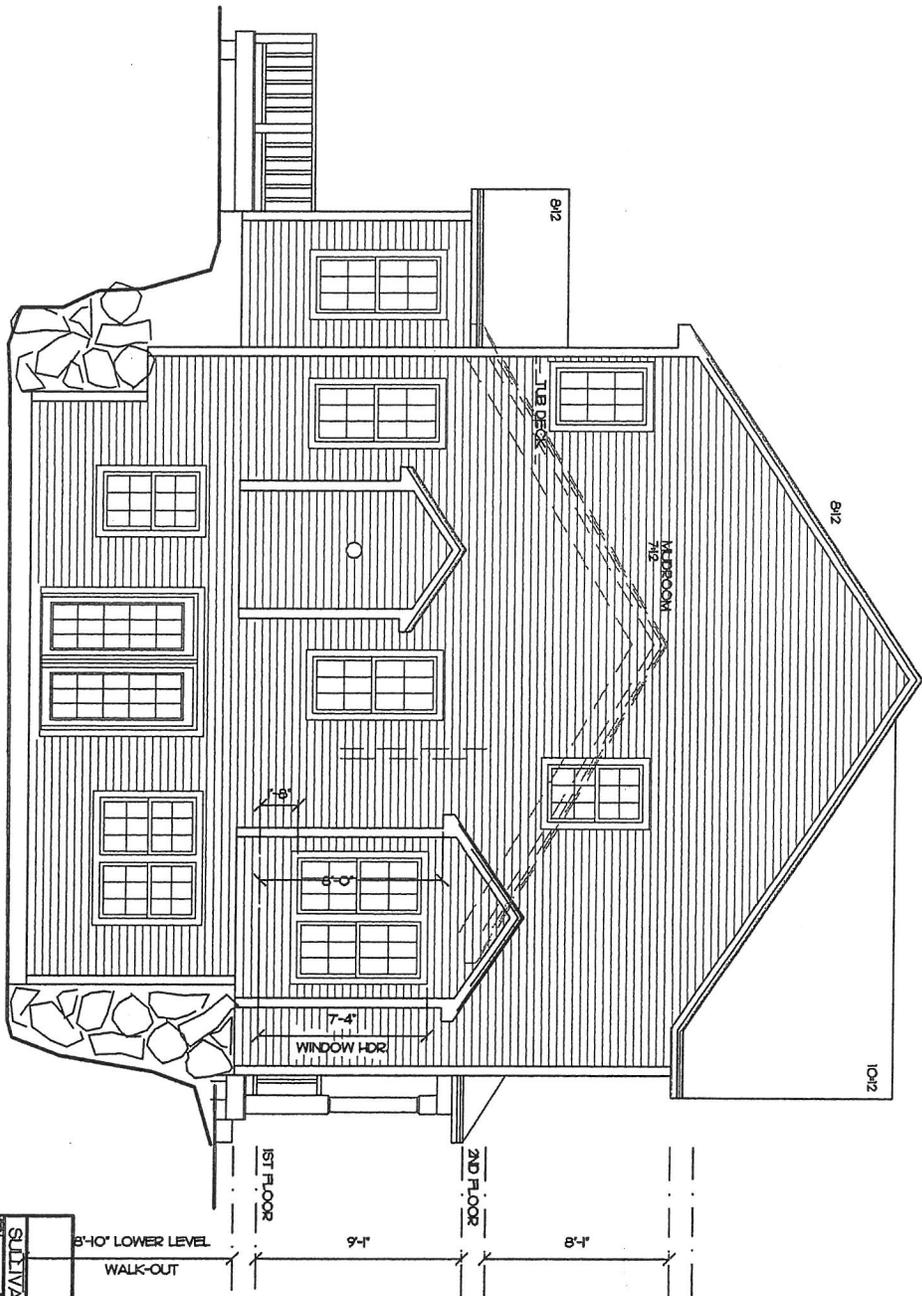
1'-6" 1ST FLOOR

1'-8" 2ND FLOOR



CONTRACT SET 7/25/07

RIVERWOOD	
SULLIVAN RESIDENCE - ELEVATIONS	
	
498 WILSON RD. S BRANTON VT 05633 802.538.1100	
DATE: 7/25/07	



CONTRACT SET 7/25/07

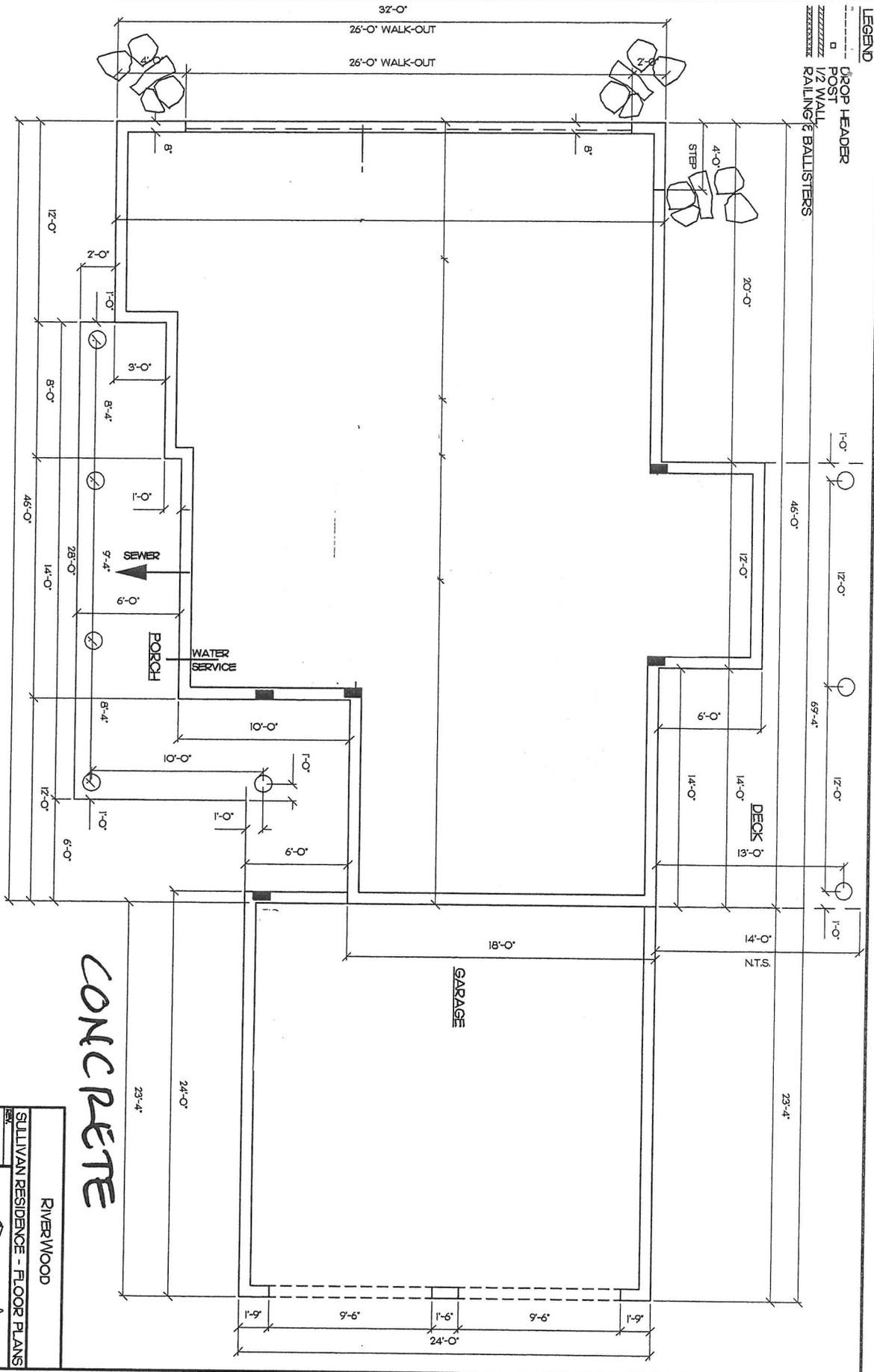
RIVERWOOD  
 SULLIVAN RESIDENCE - ELEVATIONS

STERLING  
 CONSTRUCTION, INC.

6040 WILSON RD. & BARNHARTER VT 05403  
 PHONE 906-1107  
 DATE 7/25/07

LEGEND

- DROP HEADER
- POST
- zzzzzzzz 1/2 WALL
- xxxxxxx RAILINGS
- o BALLISTERS



FOUNDATION PLAN  
SCALE 3/16" = 1'-0"

CONTRACT SET 7/25/07

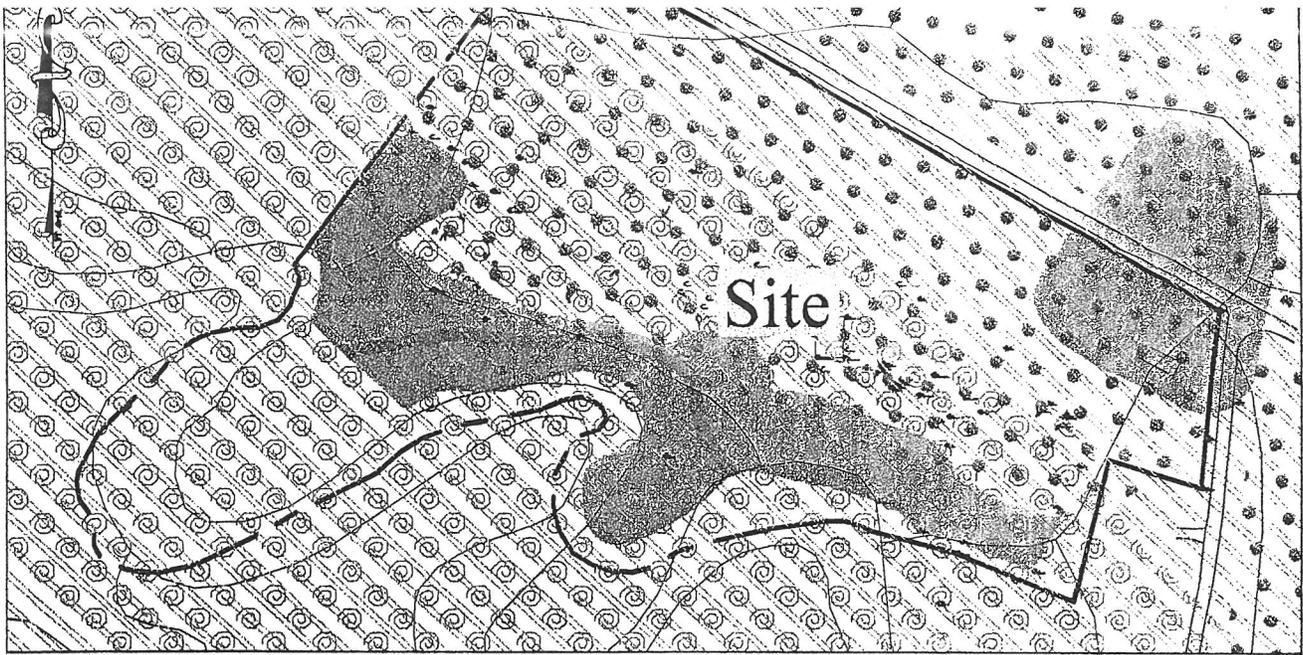
**RIVERWOOD**

**SULLIVAN RESIDENCE - FLOOR PLANS**



**SULLIVAN CONSTRUCTION, INC.**  
408 MILLER RD., SULLIVAN, TN 37862  
TEL: 615-595-1100 FAX: 615-595-1101  
DATE: 7/25/07

CONCRETE



APPROVED  
Department of Environmental Conservation  
**Significant Features Map**

Scale: 1" = 300"

Approved By: [Signature]

Permit #: WV-4-2478-1

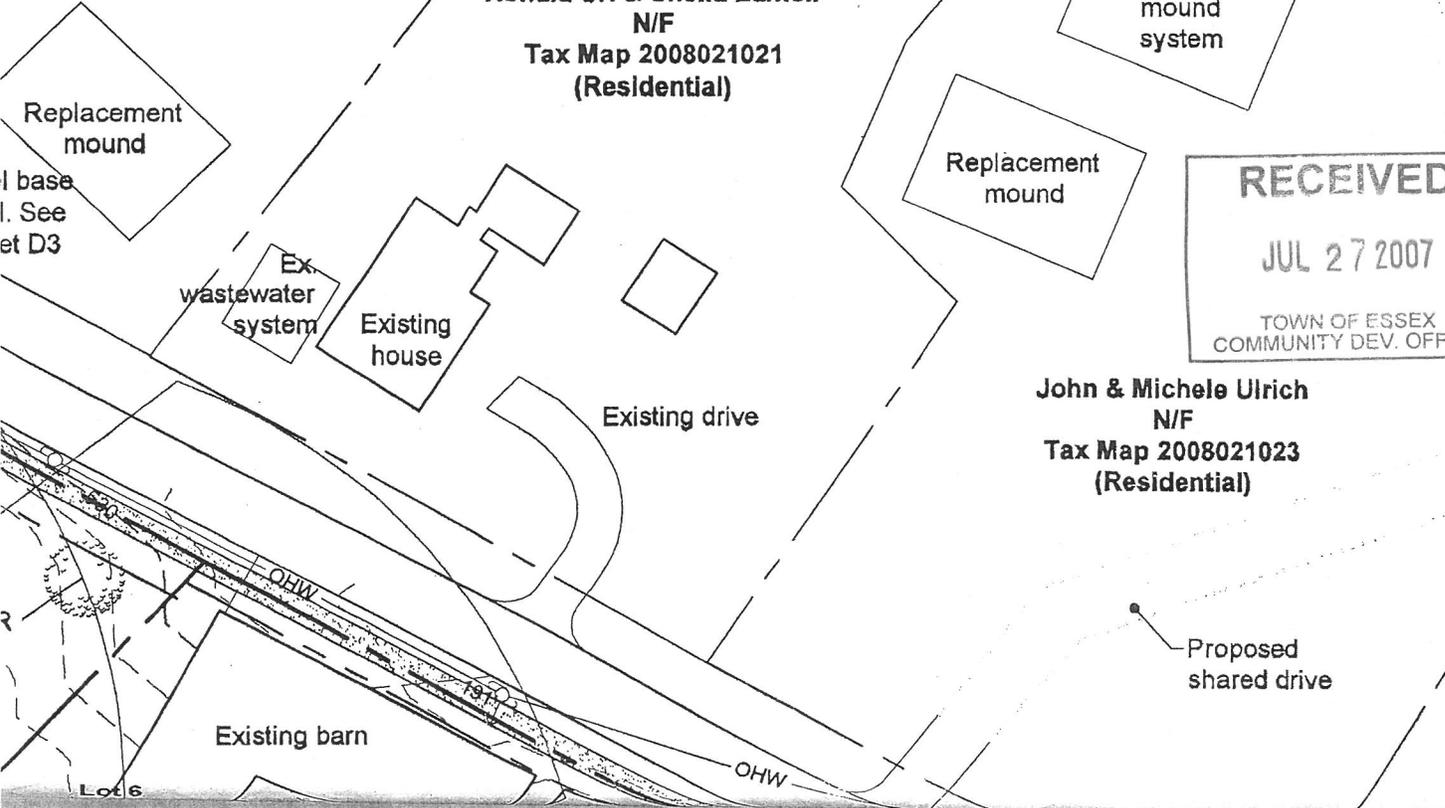
DATE: 7/23/07

Lamoureux & Dickinson  
Project # 04086  
Rev. Date: 6/13/07

**Kelth & Paula Lamell**  
N/F  
Tax Map 2008021022  
(Residential)

**Ronald Sr. & Sheila Lamell**  
N/F  
Tax Map 2008021021  
(Residential)

**John & Michele Ulrich**  
N/F  
Tax Map 2008021023  
(Residential)



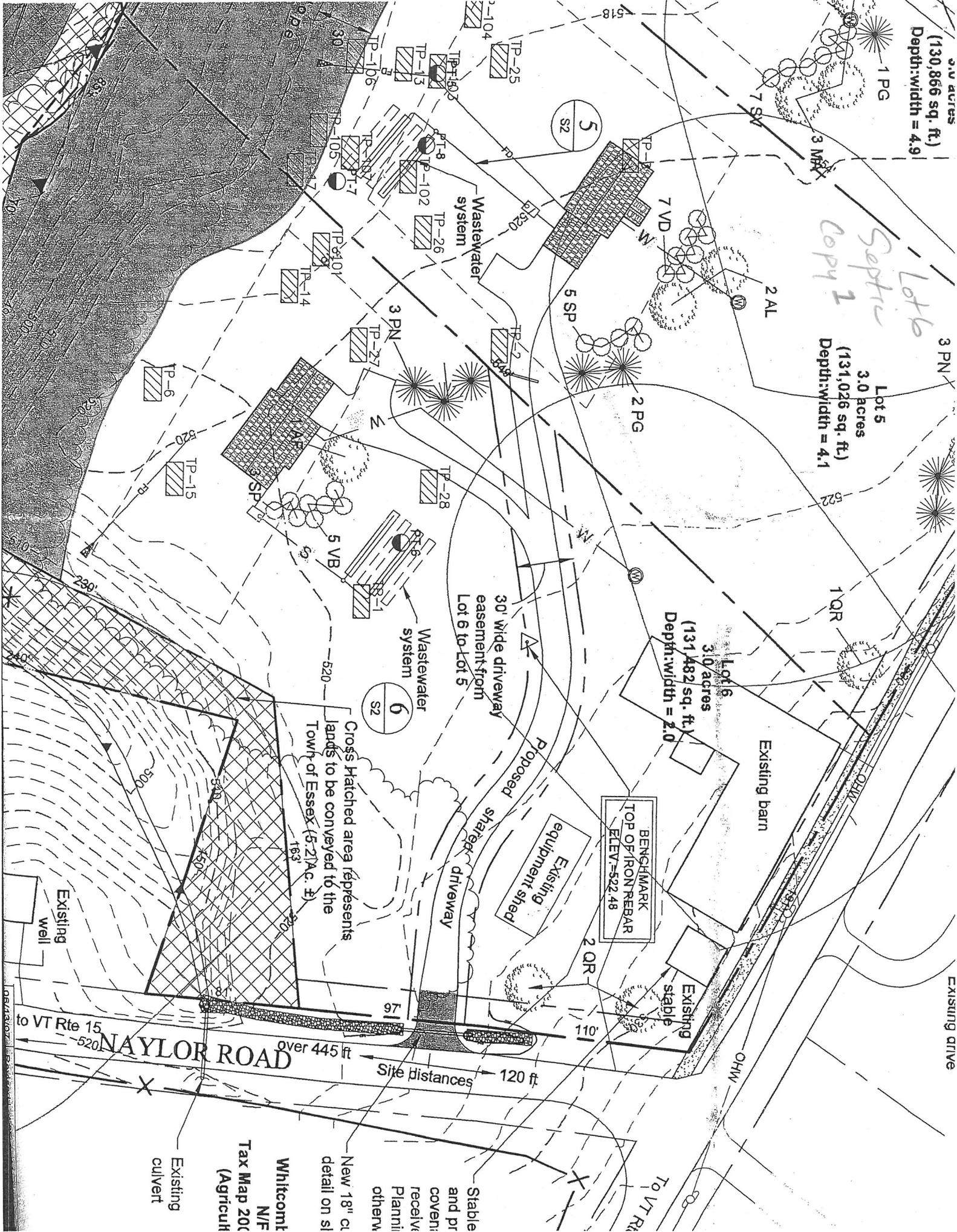
**RECEIVED**  
JUL 27 2007  
TOWN OF ESSEX  
COMMUNITY DEV. OFFICE

3.0 acres  
(130,866 sq. ft.)  
Depth:width = 4.9

*Septic*  
*Copy 1*

Lot 5  
3.0 acres  
(131,026 sq. ft.)  
Depth:width = 4.1

Lot 6  
3.0 acres  
(131,482 sq. ft.)  
Depth:width = 2.0



30' wide driveway  
easement from  
Lot 6 to Lot 5

Cross hatched area represents  
lands to be conveyed to the  
Town of Essex (5.21 Ac. ±)

BENCHMARK  
TOP OF IRON REBAR  
ELEV=522.48

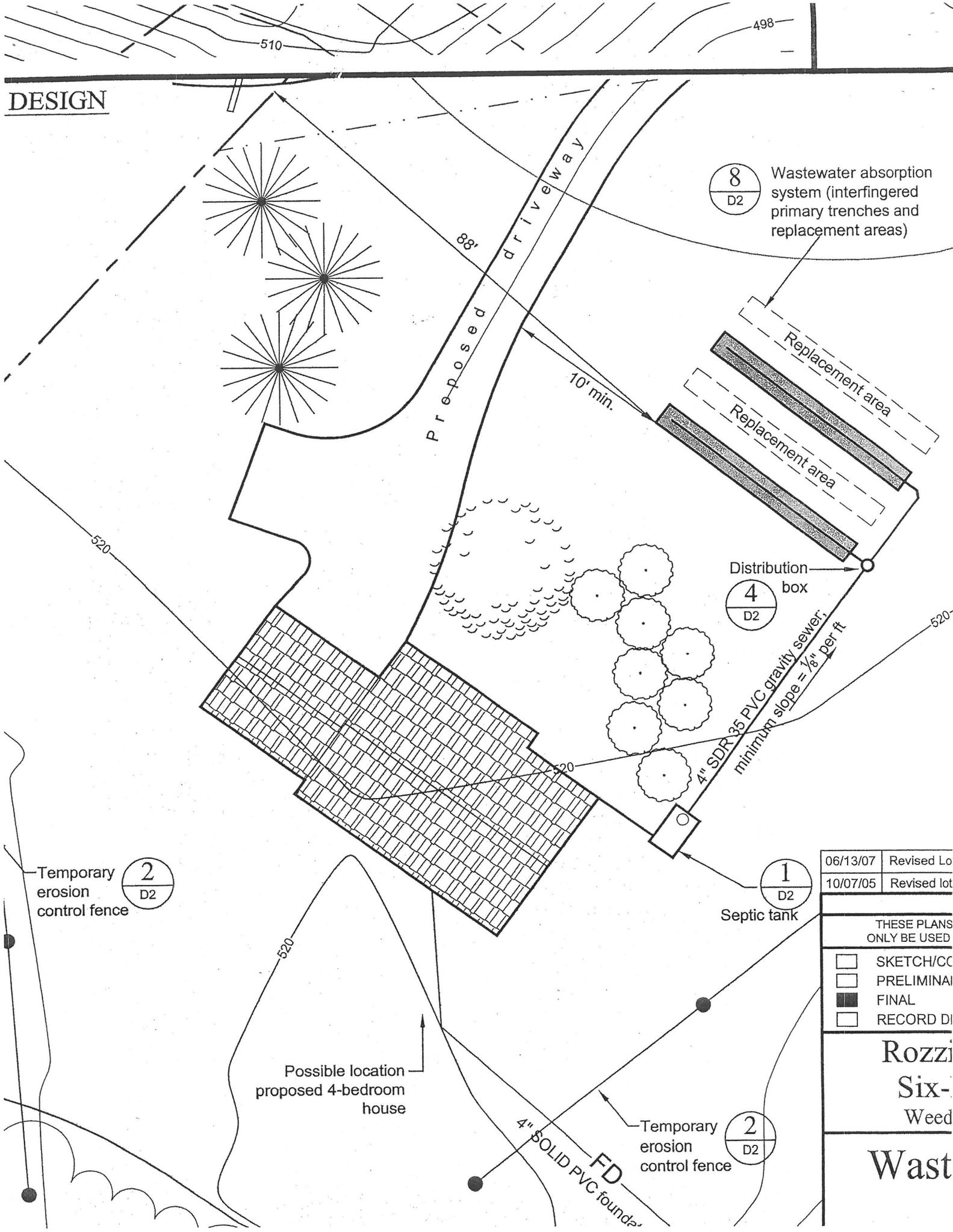
NAYLOR ROAD  
to VT Rte 15  
over 445 ft

Site distances 120 ft

Whitcomb  
N/F  
Tax Map 20C  
(Agricul  
New 18" ci  
detail on sl  
Stable  
and pr  
coveri  
receiv  
Planni  
otherw

08/13/07

**DESIGN**



06/13/07	Revised Lo
10/07/05	Revised lot

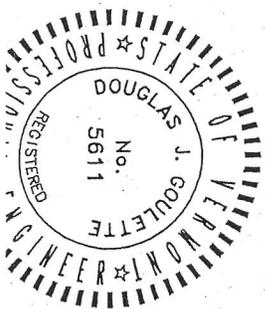
THESE PLANS ONLY BE USED

	SKETCH/CC
	PRELIMINAL
	FINAL
	RECORD DI

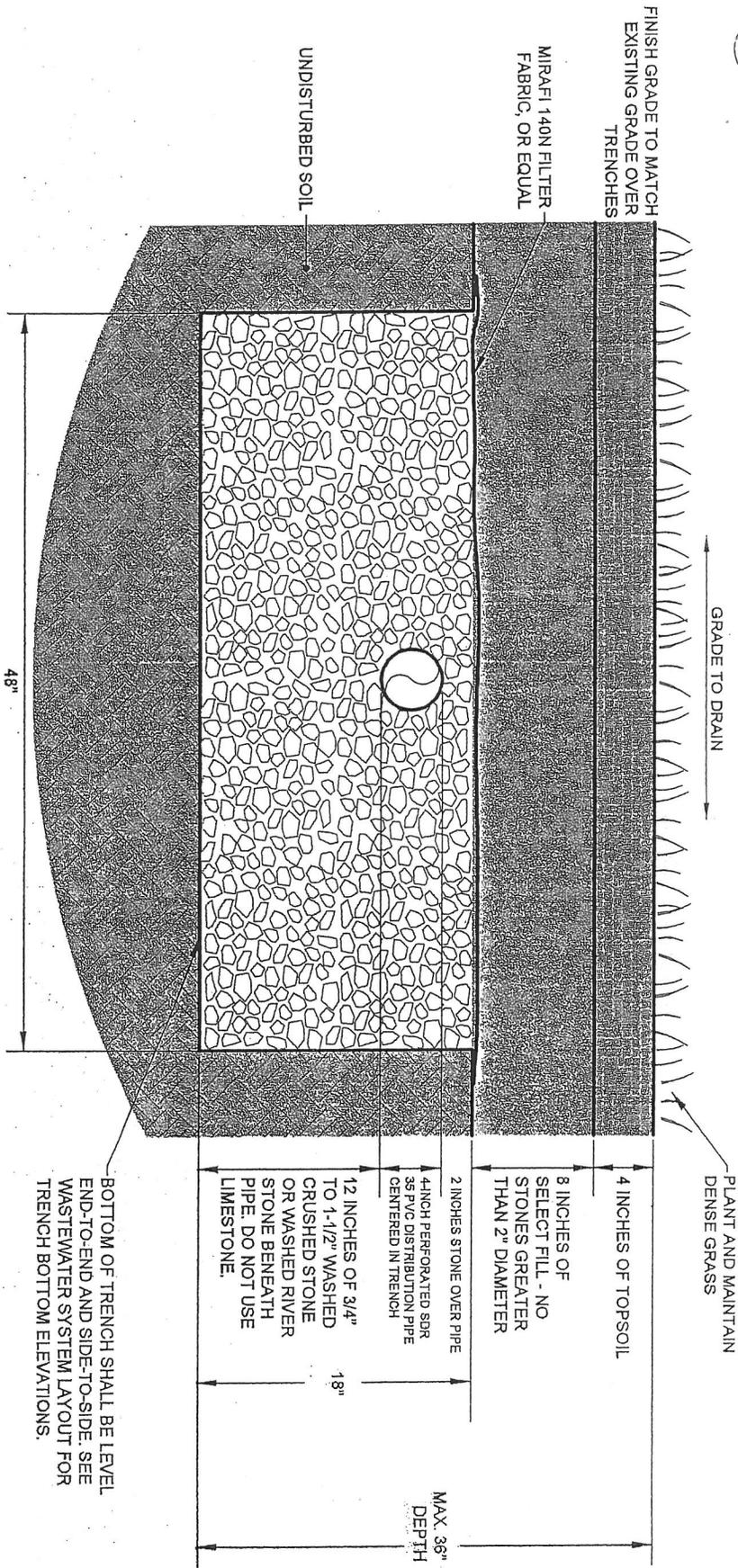
**Rozzi**  
**Six-**  
**Weed**  
**Wast**

## GENERAL CONSTRUCTION SPECIFICATIONS

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE TOWN OF ESSEX PUBLIC WORKS AND ZONING REGULATION REQUIREMENTS AND THESE PLANS.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITIES BEFORE EXCAVATION TO VERIFY THE LOCATION OF ANY UNDERGROUND LINES. THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.
3. UTILITIES INFORMATION SHOWN HEREON WERE OBTAINED FROM BEST AVAILABLE SOURCES AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON. THE CONTRACTOR SHALL CONNECT OR RECONNECT ALL UTILITIES TO THE NEAREST SOURCE THROUGH COORDINATION WITH UTILITY OWNER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING SOILS, VEGETATION, PAVEMENT AND STRUCTURES NECESSARY TO CONSTRUCT THIS PROJECT UNLESS OTHERWISE NOTED ON THESE PLANS. THE CONTRACTOR SHALL REMOVE ALL EXCESS MATERIAL, DEBRIS AND TRASH FROM THE SITE UPON COMPLETION OF CONSTRUCTION, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN EXPENSE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR A SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY BY THE ENGINEER, THE CONTRACTOR SHALL BE REQUIRED TO WET SECTIONS OF THE CONSTRUCTION AREA WITH WATER, APPLY CALCIUM CHLORIDE OR SWEEP ASPHALT ROADS WITH A POWER BROOM AS DUST CONTROL.
6. ANY SURFACES, LINES, OR STRUCTURES WHICH HAVE BEEN DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THE CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.
7. THE DESIGN ON THESE PLANS SHALL BE INSPECTED, AND THE BUILDINGS SHALL BE STAKED OUT BY LAMOUREUX & DICKINSON CONSULTING ENGINEERS, INC., ESSEX JUNCTION, VERMONT, TO ENSURE COMPLIANCE WITH THE PLANS AND REQUIREMENTS. LAMOUREUX & DICKINSON WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS THAT MAY ARISE FROM THE FAILURE OF THE CONTRACTOR TO FOLLOW THESE PLANS AND SPECIFICATIONS AND THE DESIGN INTENT THAT THE PLANS CONVEY, AND FROM FAILURE TO HAVE BEEN NOTIFIED TO INSPECT THE WORKS AND TESTS IN PROGRESS.
8. FOR ANY WORK WITHIN THE HIGHWAY RIGHT-OF-WAY A MINIMUM OF ONE-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. CONTINUOUS TWO-WAY TRAFFIC WILL BE REQUIRED AT NIGHT, DURING PEAK-HOURS, AND WHENEVER POSSIBLE DURING ACTUAL CONSTRUCTION ACTIVITIES. UNIFORMED TRAFFIC CONTROL OFFICERS SHALL DIRECT TRAFFIC DURING PEAK HOURS WHEN THERE IS ONE-WAY TRAFFIC OR WHEN DEEMED NECESSARY BY THE TOWN OR STATE. TEMPORARY CONSTRUCTION SIGNS AND TRAFFIC CONTROL SIGNS SHALL BE ERECTED BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND TOWN STANDARDS.
9. TO ASSURE COMPLIANCE WITH THE PLAN(S), THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF STARTING ANY WORK. COMMENCEMENT OF CONSTRUCTION OF BUILDINGS, BEGINNING INSTALLATION OF ANY UTILITIES, BRINGING IN ANY NEW GRAVEL FOR THE NEW PAVED AREAS, PAVING, AND FINAL INSPECTION.
10. THE HORIZONTAL AND VERTICAL SEPARATION FOR SEWER AND WATER LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE "TEN STATE STANDARDS - RECOMMENDED STANDARDS FOR WATER."
11. TOPSOIL SHALL BE STOCKPILED, SEEDED, AND MULCHED UNTIL REUSED. HAY BALES SHALL BE PLACED AND STAKED CONTINUOUSLY AROUND THE BOTTOM OF THE TOPSOIL PILES.
12. HEALTHY EXISTING TREES AS SHOWN ON THE SITE PLAN TO BE SAVED SHALL BE PROTECTED BY THE CONTRACTOR.
13. OPEN CUT AREAS SHALL BE MULCHED OUTSIDE OF ACTUAL WORK AREAS, AND HAY BALES SHALL BE EMPLOYED TO CONFINE SHEET WASH AND RUNOFF TO THE IMMEDIATE OPEN AREA AS ORDERED BY THE ENGINEER.
14. AT COMPLETION OF GRADING, SLOPES, DITCHES, AND ALL DISTURBED AREAS SHALL BE SMOOTH AND FREE OF POCKETS WITH SUFFICIENT SLOPE TO ENSURE DRAINAGE.
15. ALL FILL SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR, UNLESS OTHERWISE SPECIFIED.
16. THE CONTRACTOR SHALL INSTALL EROSION CONTROL DEVICES AS NEEDED TO PREVENT SEDIMENTATION. THE HAYBALE DAMS, SILT FENCES, DITCHES, AND OTHER EROSION CONTROL DEVICES, SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR AFTER EVERY RAINFALL OF 1/2 INCH OR MORE UNTIL ALL DISTURBED AREAS HAVE BEEN GRASSED AND APPROVED BY THE ENGINEER. THE MAINTENANCE OF THE EROSION CONTROL DEVICES WILL INCLUDE REMOVAL OF ANY ACCUMULATED SEDIMENTATION.



**3 ABSORPTION TRENCH CROSS-SECTION - LOTS 1-4, and 6**  
 S1/D1 NOT TO SCALE

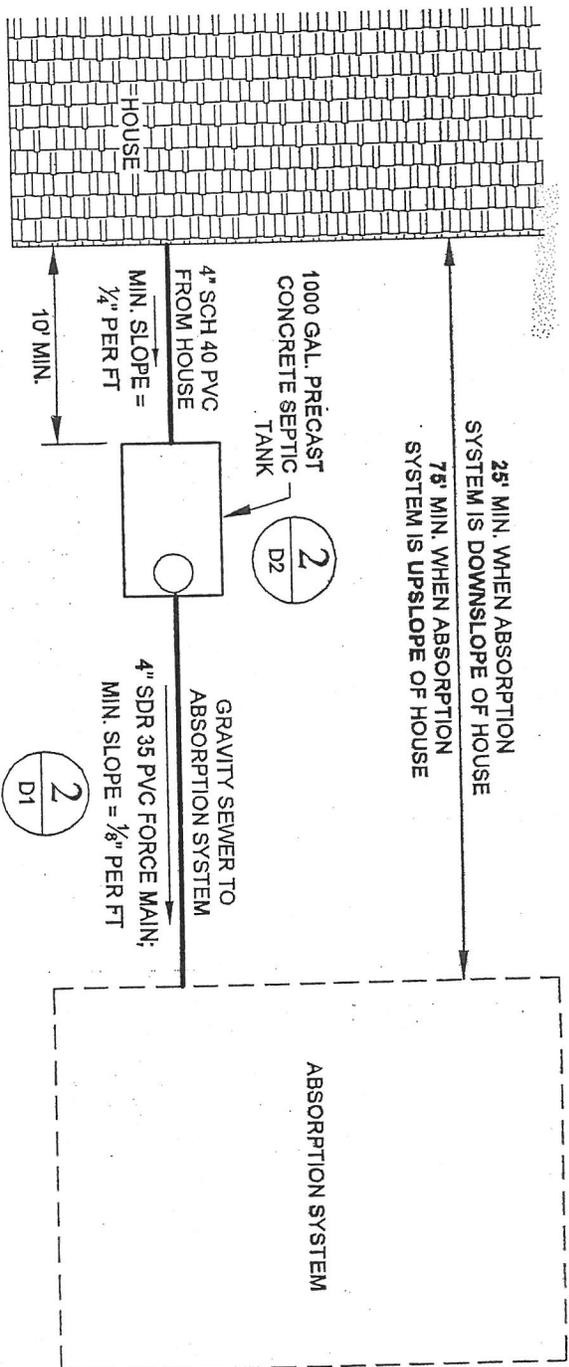


**ABSORPTION TRENCH SPECIFICATIONS**

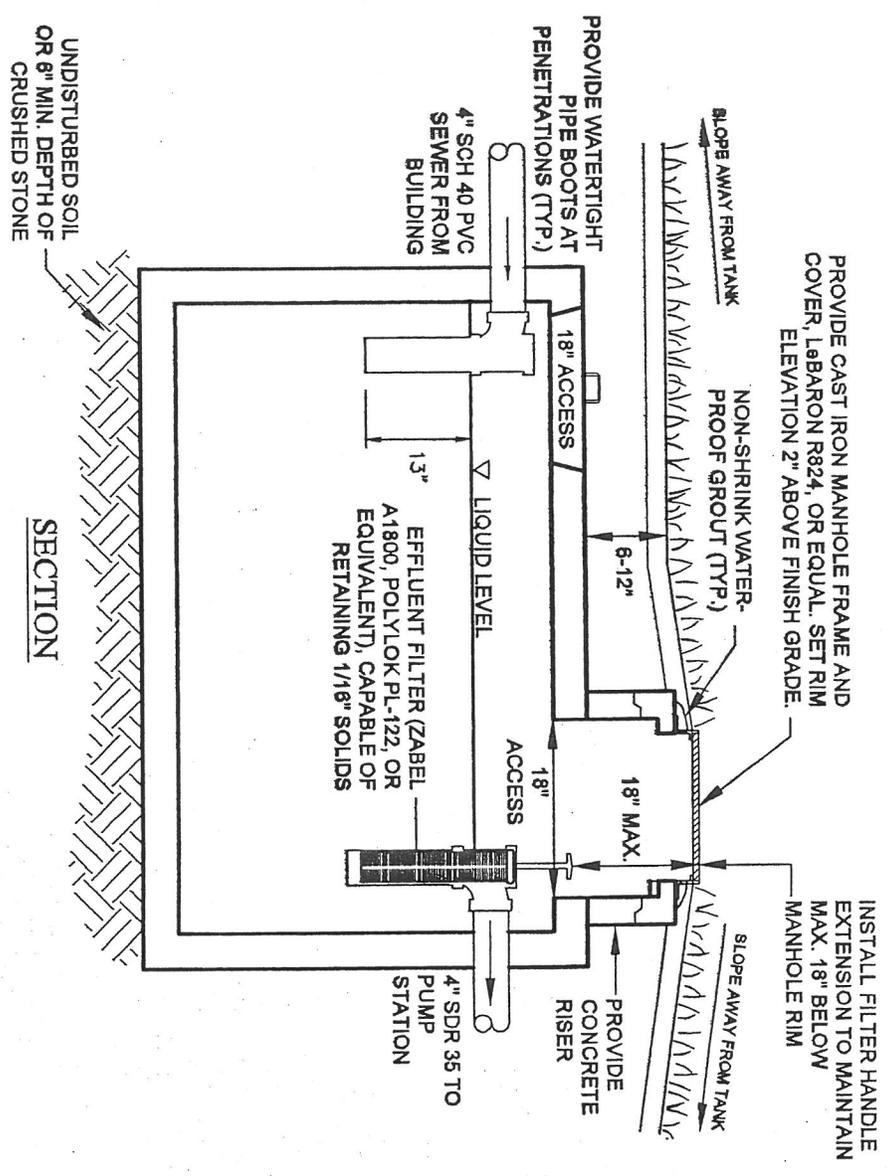
1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR STAKE OUT OF THE ABSORPTION SYSTEM.
2. CONSTRUCTION EQUIPMENT SHALL BE KEPT OFF THE AREA TO BE USED FOR EFFLUENT ABSORPTION AS MUCH AS POSSIBLE TO PREVENT UNDESIRABLE COMPACTION OF THE SOILS.
3. ABOVE-GROUND VEGETATION SHALL BE CLOSELY CUT AND REMOVED FROM THE GROUND SURFACE THROUGHOUT THE ABSORPTION AREA. ONCE CLEARING OF THE LAND IS COMPLETED, THE AREA SHALL BE FENCED TO PREVENT VEHICLES AND EQUIPMENT FROM DRIVING ON THE SOIL.
4. THE TRENCHES SHALL BE EXCAVATED AS SHOWN IN THE DETAIL. THE BOTTOM OF THE TRENCHES SHALL BE ABSOLUTELY LEVEL END-TO-END AND SIDE-TO-SIDE.
5. IMMEDIATELY BEFORE PLACEMENT OF CRUSHED STONE IN THE TRENCHES, THE SIDES AND BOTTOM SHALL BE RAKED TO REMOVE ANY SMEARED OR COMPACTED SOIL SURFACES.
6. PLACEMENT OF STONE SHALL BE INITIATED IMMEDIATELY AFTER TRENCH PREPARATION IS COMPLETED. THIS WILL REQUIRE THAT THE ENGINEER BE PRESENT AT THE TIME OF COMPLETION OF TRENCH EXCAVATION (SEE INSPECTION SPECIFICATIONS).
7. THE PERFORATED 4" SDR 35 DISTRIBUTION PIPE SHALL BE LAID LEVEL ON TWELVE (12) INCHES OF 3/4 TO 1-1/2 INCH WASHED CRUSHED STONE. LIMESTONE SHALL NOT BE USED.
8. TESTING: THE ENGINEER MUST OBSERVE A TEST OF THE DISTRIBUTION BOX TO VERIFY THAT EFFLUENT IS BEING EQUALLY DIVIDED BETWEEN THE TRENCHES.
9. AFTER COMPLETION AND TESTING OF THE DISTRIBUTION BOX AND PIPES, THE PIPES SHALL COVERED WITH TWO (2) INCHES OF 3/4 TO 1-1/2 INCH CLEAN CRUSHED STONE. NONWOVEN GEOTEXTILE (MIRAFI 140N FABRIC, OR EQUAL) SHALL BE PLACED TO ENTIRELY COVER THE STONE. THE AREA SHALL BE COVERED WITH TWELVE (12) INCHES OF SELECT FILL, THE UPPER FOUR (4) INCHES OF WHICH SHALL BE TOPSOIL. THE AREA OVER AND AROUND THE WASTEWATER SYSTEM SHALL BE GRADED SUCH THAT THERE ARE NO AREAS CAPABLE OF PONDING WATER AND SUCH THAT THERE IS SUFFICIENT SLOPE TO ENSURE DRAINAGE.
10. THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH AS-BUILT INFORMATION AND CERTIFICATION THAT THE SYSTEM WAS INSTALLED IN ACCORDANCE WITH THE PLANS AND ALL PERTINENT APPROVALS AND PERMITS ISSUED FOR THE PROJECT.

# 1 SYSTEM SCHEMATIC - ALL LOTS

S2 NOT TO SCALE



**1 1,000 GAL. PRECAST CONCRETE SEPTIC TANK**  
 S2 NOT TO SCALE

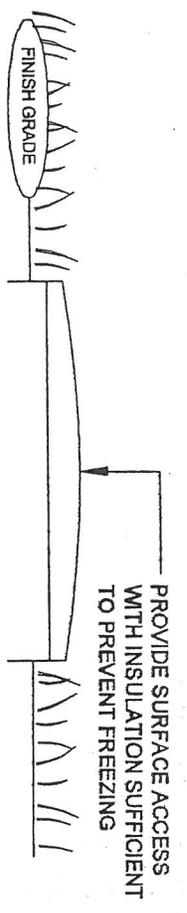


PROVIDE CAST IRON MANHOLE FRAME AND COVER, LABARON R824, OR EQUAL. SET RIM ELEVATION 2" ABOVE FINISH GRADE.

INSTALL FILTER HANDLE EXTENSION TO MAINTAIN MAX. 18" BELOW MANHOLE RIM

SECTION

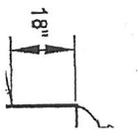
**4 PRECAST CONCRETE DISTRIBUTION BOX**  
 S2 NOT TO SCALE



**SEPTIC TANK SPECIFICATIONS**

1. DESIGN DATA: DESIGN FLOW = 490 GPD. USE A 1,000-GALLON SEPTIC TANK FOR FLOWS LESS THAN 667 GPD.
2. LAMOREUX & DICKINSON RECOMMENDS THE USE OF A WATERTIGHT, HEAVY-DUTY REINFORCED PRECAST CONCRETE SEPTIC TANK AS MANUFACTURED BY S.T. GRISWOLD, CAMP PRECAST, OR APPROVED EQUAL, WITH ONE (1) 18" COVER AT THE OUTLET, 4,000 PSI CONCRETE; AN SET ON THOROUGHLY COMPACTED SUB-BASE. HOWEVER, THE OWNER MAY, AT HIS/HER OWN DISCRETION CHOOSE TO INSTALL AN ALTERNATIVE STRUCTURE THAT MEETS THE REQUIREMENTS OF APPENDIX 1-A, SECTION A-06 OF THE VERMONT ENVIRONMENTAL PROTECTION RULES-CHAPTER 1. THE TANK SHALL BE FITTED WITH AN EFFLUENT FILTER CAPABLE OF RETAINING 1/16" SOLIDS. SURFACE ACCESS SHALL BE PROVIDED FOR MAINTENANCE OF THE EFFLUENT FILTER AND PUMPING OF TANK. THE SURFACE ACCESS RISER AND LID SHALL PREVENT INFILTRATION BY SURFACE OR GROUND WATER.
3. THE EXCAVATION MUST BE AT LEAST 12" WIDER AND LONGER THAN THE TANK DIMENSIONS.
4. PROVIDE WATERTIGHT PIPE CONNECTIONS USING PREFABRICATED 4" PLASTIC BOOTS OR FLEXIBLE RUBBER SLEEVES.
5. IF LEDGE IS ENCOUNTERED AT A DEPTH INSUFFICIENT TO ACCOMMODATE THE SPECIFIED TANK, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR ALTERNATE STRUCTURE RECOMMENDATIONS.
5. BACKFILL SIDES AND TOP OF TANK WITH SAND OR GRAVEL. ALL BACKFILL AROUND THE TANK SHALL BE THOROUGHLY COMPACTED TO NOT LESS THAN 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO-T-99 STANDARD PROCTOR.

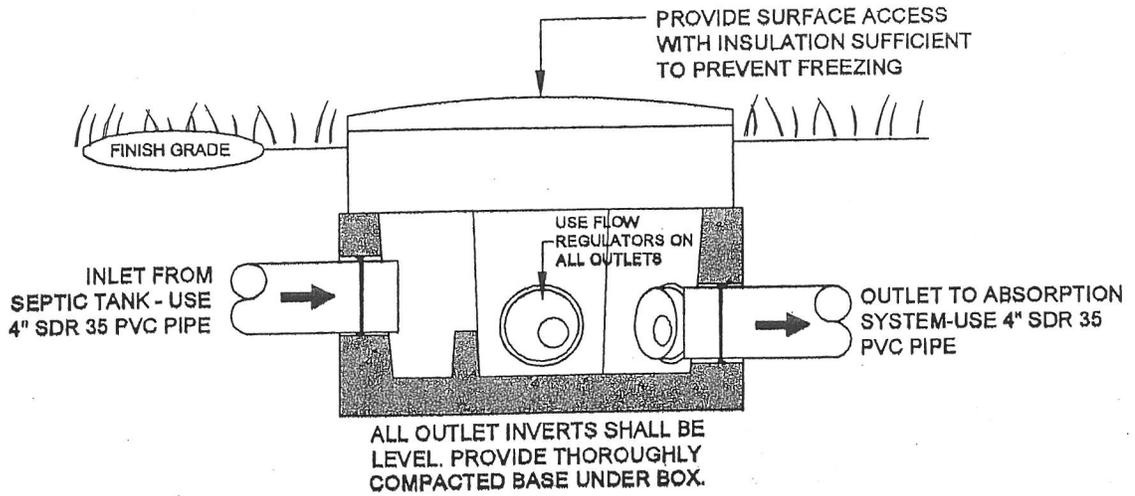
**5 TYPICAL DRILLED W**  
 S2 NOT TO SCALE



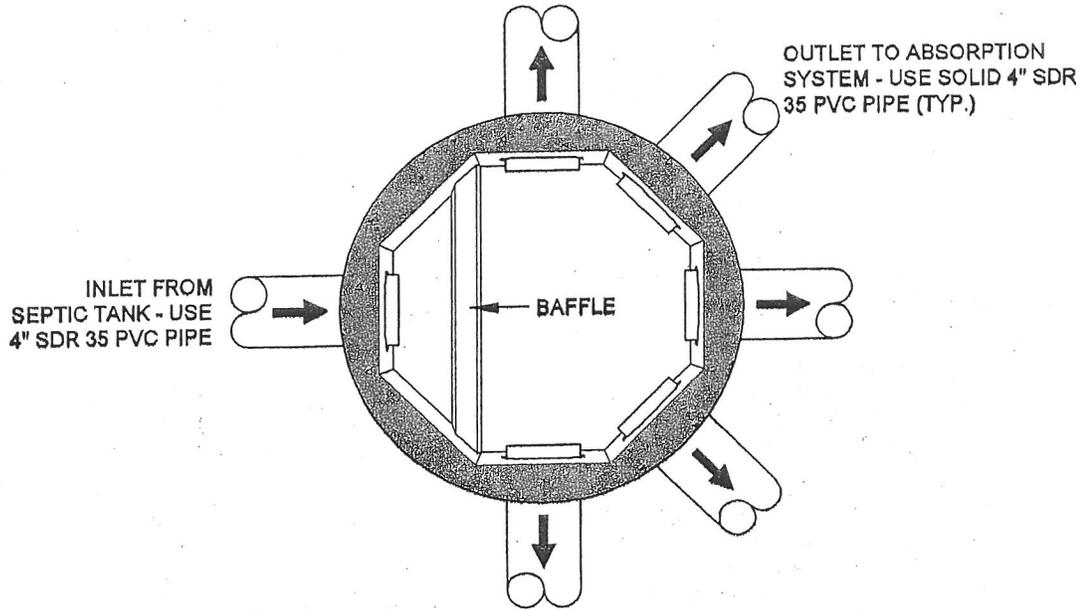
4

# PRECAST CONCRETE DISTRIBUTION BOX

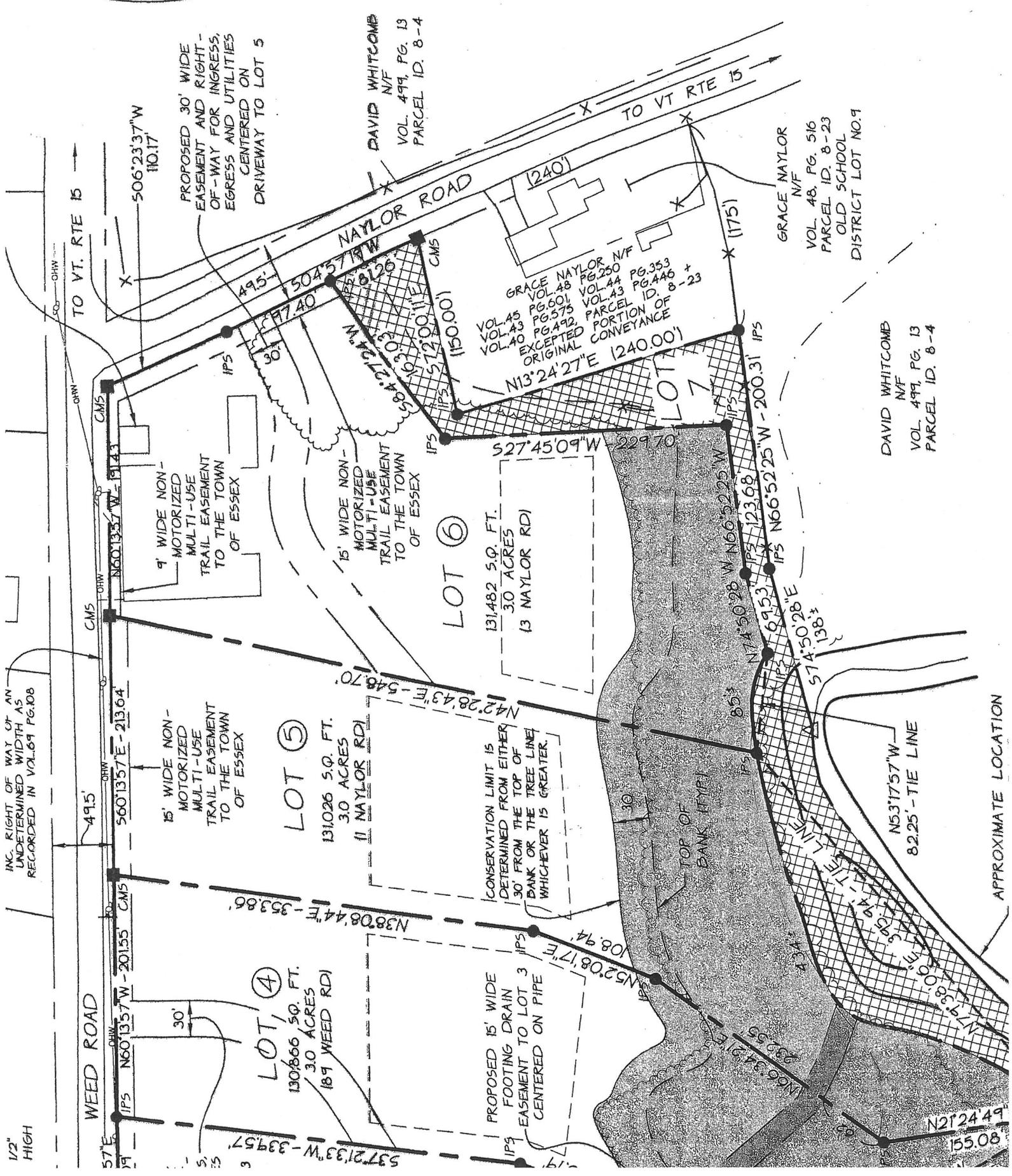
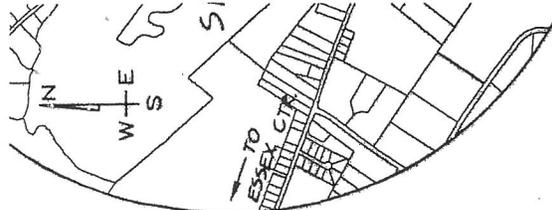
S2 NOT TO SCALE



SECTION



PLAN VIEW



- NOTES:**
- THIS PLAT INCLUDING T.
    - WILFRED I. CHITTENDEN
    - HAROLD N. SLIDE 323
    - WHITCOMB, DATED 12, 1911
    - HAMLIN & RECORD
    - PROPERTY RECORDED
    - MCCORMAC REVISED 1 ENGINEERS OF THE T
    - A PLAT 5 SR + SHE 12-18-02 ASSOCIATE THE TOWN
    - PLAT OF 253, ESSE PREPARED THE TOWN
  - BEARINGS AT TIME OF TH
  - THIS PROPER RIGHTS-OF-
  - FOLLOWING A LICENSED PIPES AND C AND DICKIN THE FAILURE SUCCESSORS MONUMENTS:
  - LOTS 1 - 6 OF 51.



TOWN OF ESSEX, VERMONT  
APPLICATION FOR CURB CUT / UTILITY PERMIT

Pursuant to Title 19 V.S.A. Section 43. Application for Curb Cut and Utility Installation in Town Right-of-Way.

All applications for curb cuts and utility installations shall be submitted to the Director of Public Works/Town Engineer for review. Applicants shall submit the information requested on this form and any additional information requested by the Director of Public Works /Town Engineer for a clear understanding of this application. The permit is issued under authority of the Town Manager in accordance with Section 601 of the Town Charter and 24 V.S.A. paragraph 1236 (2)

Application No. 1  
Date \_\_\_\_\_

Property Address: 3 AND 5 MAYOR ROAD  
Owner Address: 4049 WILMINGTON ROAD  
Address: 40. BURLINGTON, VT 05403

Owner Name: RIVERWOOD PARTNERSHIP LLC.  
Phone Number - (w) 802-864-0600 (h) \_\_\_\_\_

Town Tax Map # 021-029-001 Parcel # 021-030-003

Application is for: (check one)

A) New Curb Cut  B) Utility Installation: Overhead \_\_\_\_\_ Underground \_\_\_\_\_

Please use attached diagram to describe location and type of installation.

Comments by Director of Public Works/Town Engineer:

Culvert: Yes \_\_\_\_\_ No   
Culvert Size: NA  
Diameter  
(18 inch minimum)

Water Bar(s): Yes \_\_\_\_\_ No   
Total Length of Culvert: NA  
(30 foot minimum)

\*\*\*\* FOR OFFICE USE ONLY \*\*\*\*

Signature of Owner

*[Handwritten Signature]*

Fee Paid NA

Approved:  Rejected: \_\_\_\_\_ Date 9 Nov 06

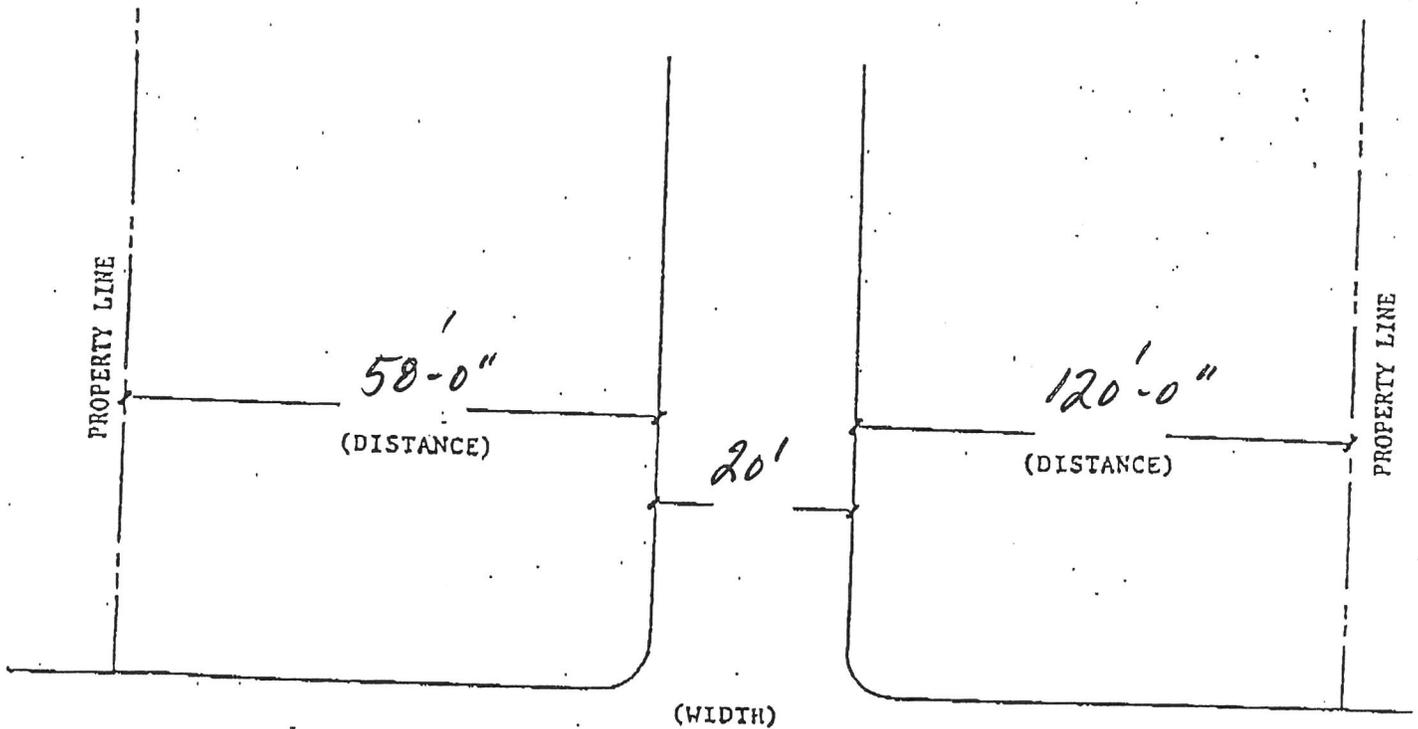
*[Handwritten Signature]*

Per Authority of the Town Manager by the Director of Public Works/Town Engineer

*see notes on Pg 2*

1. Culvert must be HIGH DENSITY POLYETHYLENE (HDPE) PIPE
2. Culvert will be purchased by Applicant
3. Culvert will be purchased and installed by the applicant. The Town of Essex Department of Public Works will inspect.

Note: A MINIMUM OF 24-HOURS NOTICE IS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION. WITHIN 24 HOURS OF COMPLETION, THE APPLICANT IS REQUIRED TO NOTIFY THE DIRECTOR OF PUBLIC WORKS/TOWN ENGINEER FOR INSPECTION PURPOSES.



*Haydon Road*

STREET NAME

Comments and / or special instructions from Director of Public Works / Town Engineer:

(1) Shared driveway to be constructed at the location shown on the approved subdivision site plan, sheet S1 and in conformance with the standard plan & details shown on the approved plans.

(2) Special attention is directed to the construction standard on sheet D2.

NOTE: A MINIMUM OF 24 HOURS IS REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION. WITHIN 24 HOURS OF COMPLETION, THE APPLICANT IS REQUIRED TO NOTIFY THE DIRECTOR OF PUBLIC WORKS / TOWN ENGINEER FOR INSPECTION PURPOSES.

FOR DEPARTMENT USE ONLY: NOI #:

**Notice of Intent (NOI)**  
for Stormwater Discharges Associated with  
Construction Activity on **Low Risk Sites**  
under the Vermont Construction General Permit 3-9020



Submission of this completed Notice of Intent (NOI) constitutes notice that the entity in Section A intends to be authorized to discharge pollutants to waters of the State, from the project identified in Section B, under Vermont's Stormwater Construction General Permit (CGP). Submission of the NOI also constitutes notice that the party identified in Section A of this form has read, understands, and meets the eligibility conditions of the CGP and has determined that the project qualifies for coverage as a Low Risk project in conformance with Appendix A of the CGP; agrees to comply with all applicable terms and conditions of the CGP; understands that continued authorization under the CGP is contingent on maintaining eligibility for coverage, and that the applicable practices in the Low Risk Site Handbook for Erosion Prevention and Sediment Control must be implemented and maintained for the duration of the construction activities. In order to be granted coverage, all information required on this form must be provided.

**A. Landowner Information**

1. Name: Riverwood Partnership LLC  
2. Mailing Address:  
a. Street/PO Box: 4049 Williston Road Suite 8  
b. City/Town: South Burlington c. State: VT d. Zip: 05403  
3. Contact Information:  
a. Phone: (802) 864-0600 Fax: (802) 864-6568 Email: Collin@SterlingConstructionInc.com

**B. Principal Operator Information**

1. Name: S. D. Ireland Brothers Corp.  
2. Mailing Address:  
a. Street/ PO Box: PO Box 2286  
b. City/Town: South Burlington c. State: VT d. Zip: 05407  
3. Contact Information:  
a. Phone: (802) 863-6222 Fax: (802) 860-1528 Email: \_\_\_\_\_

**C. Project Information**

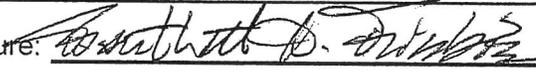
1. Project Name: Riverwood 2. Part of Common Plan of Development?:  Yes  No  
3. If Yes, Name of Development: \_\_\_\_\_  
4. Location Address: 3 Naylor Rd  
a. Street: 87 Weed Road b. City/ Town: Essex  
c. Latitude: 44° 30' 28" g. Longitude: 73° 1' 29" (at or near the center of the project)  
5. Project Type:  Residential  Commercial  Industrial  Public  Other  
6. Description of construction activities to be permitted:  
Six lot single family home construction with three shared driveways.  
7. Total Area of Disturbance: 4.3 acres  
8. Proposed Start Date: 11-8-2006 9. Proposed End Date: 7-15-2008  
10. Are land disturbance activities planned between October 15 and April 15?  Yes  No  
11. Name(s) of Receiving Waters(s): Browns River

**D. Certification Relating to the Accuracy of the Information Submitted**

I hereby certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. I also certify that the applicable practices in the *Low Risk Site Handbook for Erosion Prevention and Sediment Control* will be implemented for the duration of the project for which this NOI is submitted.

Landowner Name: Bartlett H. Frisbie

Title: President

Signature:  Date: 11/5/06

**E. Public Notice Requirement**

You must provide a copy of this completed NOI form to the municipal clerk for posting in the municipality in which the discharge is to be located. If the project and the related discharge(s) are located in different municipalities, then the completed NOI shall be filed with the municipal clerk in each municipality.

For Department Use Only:

**VERMONT DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
AUTHORIZATION TO DISCHARGE**

A determination has been made that the proposed construction activities qualify for coverage under General Permit 3-9020 (2006) as a Low Risk project. Subject to the conditions of General Permit No. 3-9020 (2006), the applicant is hereby authorized to discharge stormwater runoff from a construction site as described in this Notice of Intent Number \_\_\_\_\_-9020, including the attached Appendix A.

Dated at Waterbury, Vermont this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_.  
Jeffrey Wennberg, Commissioner  
Department of Environmental Conservation

By \_\_\_\_\_  
Wallace McLean, Director  
Water Quality Division

## PUBLIC NOTICE

Public comments concerning this Notice of Intent to discharge under General Permit No 3-9020 (2006) are invited and must be submitted within 10 days of receipt of this Notice by the Municipal Clerk. Comments should address how the application complies or does not comply with the terms and conditions of General Permit No. 3-9020 (2006). A letter of interest should be filed by those persons who elect not to file comments but who wish to be notified if the comment period is extended or reopened for any reason. All written comments received within the time frame described above will be considered by the Department of Environmental Conservation in its final ruling to grant or deny authorization to discharge under General Permit No. 3-9020 (2006).

Send written comments to: VT Department of Environmental Conservation  
Water Quality Division, Stormwater Section  
103 South Main Street, Building 10 North  
Waterbury, VT 05671-0408

Please cite the NOI number in any correspondence.

## APPEALS

Pursuant to 10 V.S.A. Chapter 220, any appeal of this decision must be filed with the clerk of the Environmental Court within 30 days of the date of the decision. The appellant must attach to the Notice of Appeal the entry fee of \$225.00, payable to the state of Vermont.

The Notice of Appeal must specify the parties taking the appeal and the statutory provision under which each party claims party status; must designate the act or decision appealed from; must name the Environmental Court; and must be signed by the appellant or their attorney. In addition, the appeal must give the address or location and description of the property, project or facility with which the appeal is concerned and the name of the applicant or any permit involved in the appeal.

The appellant must also serve a copy of the Notice of Appeal in accordance with Rule 5(b)(4)(B) of the Vermont Rules for Environmental Court Proceedings.

For further information, see the Vermont Rules for Environmental Court Proceedings, available on line at [www.vermontjudiciary.org](http://www.vermontjudiciary.org). The address for the Environmental Court is 2418 Airport Road, Suite 1, Barre, VT 05641 (Tel. # 802-828-1660)

A copy of General Permit No. 3-9020 (2003) may be obtained by calling (802) 241-3770; by visiting the Department at the above address between the hours of 7:45 am and 4:30 pm; or by downloading from the Water Quality Division's Web site at [www.vtwaterquality.org](http://www.vtwaterquality.org).

INFORMATION FOR MUNICIPAL CLERK: Title 10 Chapter 47 §1263(b) provides for the public notice of an applicant's intent to discharge stormwater runoff associated with construction activity. Please post this notice and instruction sheet in a conspicuous place for 10 days from the date received. If you have any questions, contact the Water Quality Division of the Department of Environmental Conservation at (802) 241-3771. Please date this below as to when it was posted. Thank you for your assistance.

DATE OF POSTING: \_\_\_\_\_

## APPENDIX A - RISK EVALUATION

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Accurately answering the questions in this appendix will allow you to determine whether a proposed construction project is considered a Low Risk or Moderate Risk project, which then determines which application and permit requirements are applicable to your project.

The risk categorization procedure consists of two parts. Part I is a Basic Risk Evaluation, which determines if a project is automatically categorized as Low Risk based upon the answers to a few basic questions.

If a project is not automatically categorized as Low Risk based upon the Basic Risk Evaluation, you must complete Part II, Detailed Risk Evaluation, to determine the risk category for your project. This part includes questions on more detailed aspects of the project.

Once the appropriate risk category has been determined, refer to Part III for the application requirements.

You should be aware that each completed Appendix A is incorporated by reference and included in the terms of this general permit, and each permittee shall undertake its construction activities in accordance with the completed Appendix A, as a condition of this permit. Failure to comply with the completed Appendix A shall be deemed a violation of this permit and subject to enforcement action.

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## APPENDIX A

### Part I – Basic Risk Evaluation

A project may automatically be categorized as Low Risk based on a few basic project characteristics. Answer each question below to determine if a project is automatically categorized as Low Risk. For definitions of terms used in the following questions (e.g. disturbance, vegetated buffer) refer to Appendix C.

<b>Basic Risk Evaluation</b>					
	<b>Criteria</b>	<b>Answer</b>	<b>Score Direction</b>	<b>Enter Score</b>	
1.	Will the proposed independent project alone disturb more than 2 acres of land?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	If YES, enter 1, if NO enter 0	1	
2.	Is the project within a watershed impaired due to stormwater, sediment, or nutrients, as specified on the Vermont 303(d) list?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	If YES, enter 1, if NO enter 0	0	
3.	Will the project have any stormwater discharges from the construction site to receiving water(s) that <b>do not</b> first pass through a 50 ft vegetated buffer area?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	If YES, enter 1, if NO enter 0	0	
4.	Will the project have disturbed earth in any one location for more than 14 consecutive calendar days without temporary or final stabilization?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	If YES, enter 1, if NO enter 0	0	
5.	Will the project have more than five acres of disturbed earth at any one time?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	If YES, enter 1, if NO enter 0	0	
<b>Total Score for Low Risk Screen 2 (add score from questions 1-5)</b>				1	

**If the Total Score for Basic Risk Evaluation is 0, the proposed project is eligible for coverage under this permit as a Low Risk project. Proceed to Part IV of Appendix A for a summary of the application requirements for Low Risk Projects. If not, proceed to Part II.**

**Criterion 1:** Only include the disturbance planned for an independent project. For example, if a lot owner is only building on a single house lot in a residential subdivision, only consider the disturbance associated with that lot, not the entire common plan. Refer to Appendix C for definitions of independent project and disturbance.

**Criterion 2:** Refer to the following web page for a list of waters in these categories:  
[http://www.vtwaterquality.org/stormwater/htm/sw\\_cgpeeligibility.htm](http://www.vtwaterquality.org/stormwater/htm/sw_cgpeeligibility.htm)

**Criterion 3:** Refer to the Appendix C for the definition of vegetated buffer area.

**Criterion 4:** Refer to Appendix C for definitions of temporary and final stabilization.

**Criterion 5:** Refer to Appendix C for the definition of disturbed earth.

## Part II – Detailed Risk Evaluation

For projects not automatically categorized as Low Risk in Part II, this Detailed Risk Evaluation must be completed to determine if a project is Low Risk, Moderate Risk, or requires an Individual Permit. This evaluation determines the risk category by weighing the balance of factors which contribute to and mitigate against the risk of a discharge of sediment from the construction project. Complete all questions in Part III for the independent project. For definitions of terms used in the evaluation, refer to Appendix C.

Detailed Risk Evaluation – Identify Risk Factors				
Criteria		Answer	Score Direction	Enter Score
A.	Will the proposed project have earth disturbance within 100 ft (horizontal) upslope of any lake or pond or 50 feet (horizontal) upslope of any rivers or stream (perennial or seasonal)?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	If YES, enter 1, if NO enter 0	0
B.	Will the project have stormwater discharges by direct conveyance (tributary, channel, ditch, storm sewer, etc.) to a water of the state impaired by stormwater, sediment or nutrients; a Class A Water; or Outstanding Resource Water?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	If YES, enter 1, if NO enter 0	0
C.	Will the project have more than five acres of disturbed earth at any one time?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	If YES, enter 1, if NO enter 0	0
D.	Will the project have disturbed earth in any one location for more than 14 consecutive calendar days without temporary or final stabilization?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	If YES, enter 1, if NO enter 0	0
E.	Will the project include more than one acre of disturbance on soil that is greater than 15% slope?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	If YES, enter 1, if NO enter 0	0
F.	Will the project include more than one acre of disturbance of soils with a high ( $K > 0.36$ ) erodibility rating?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	If YES, enter 1, if NO enter 0	0
G.	<b>Total Score for Risk Factors (add A through F)</b>			0

**Criterion A:** Measure lake distance from mean water level, and stream or river distance from top of bank. Do not include disturbance for the installation of stormwater treatment facilities or road stream crossings if there are no reasonable alternative locations.

**Criterion B:** Refer to the following web page for a list of waters in these categories:  
[http://www.vtwaterquality.org/stormwater/html/sw\\_cgpeeligibility.htm](http://www.vtwaterquality.org/stormwater/html/sw_cgpeeligibility.htm)

**Criterion C:** The maximum allowable for Low Risk Projects is 7 acres. **Moderate risk projects over 5 acres may be required to file an Individual Discharge Permit application if determined necessary by the Secretary.**

**Criterion D:** The maximum allowable for Low Risk Projects is 21 days. **Moderate risk projects over 21 days may be required to file an Individual Discharge Permit application if determined necessary by the Secretary.**

**Criterion E:** Include disturbance for the duration of the project, not at any one point in time. Slope determinations should be based on a site survey of the future disturbance area.

**Criterion F:** Include disturbance for the entire individual project, not at any one point in time. The Erosion Factor K, is a measure of the inherent erodibility of a soil type. Refer to NRCS soil maps for your county. If soils data is not available (e.g. if the site is built on assorted fill material), contact ANR for directions on evaluating soil erodibility.

## Part II Continued – Detailed Risk Mitigation Factor Evaluation

Detailed Risk Evaluation – Identify Risk Mitigation Factors				
Criteria		Answer	Score Direction	Enter Score
H.	Will stormwater leaving the construction site pass through at least 50 feet of established vegetated buffer before entering a receiving water?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	If YES, enter 1, if NO enter 0	1
I.	Will the project be limited to two acres or less of disturbed earth at any one time?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	If YES, enter 1, if NO enter 0	0
J.	Will the project have a maximum of 7 consecutive days of disturbed earth exposure in any location before temporary or final stabilization is implemented?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	If YES, enter 1, if NO enter 0	0
K.	Will the project disturb less than two acres of soil with an erodibility higher than K=0.17?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	If YES, enter 1, if NO enter 0	1
L.	Will the project include less than two acres of disturbance on soil that is greater than 5% slope?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	If YES, enter 1, if NO enter 0	1
M.	<b>Total Score for Risk Mitigation Factors (add H through L.)</b>			3

**Criterion H:** Refer to Appendix C for a definition of vegetated buffer.

**Criterion I:** Refer to Appendix C for a definition of earth disturbance.

**Criterion J:** Refer to Appendix C for definitions of temporary and final stabilization.

**Criterion K:** Include disturbance for the duration of the project, not at any one point in time. The Erosion Factor K, is a measure of the inherent erodibility of a soil type. Refer to NRCS soil maps available at USDA-NRCS District Offices. If soils data are not available (e.g. if the site is built on assorted fill material), contact DEC for directions on evaluating soil erodibility.

**Criterion L:** Include disturbance for the duration of the project, not at any one point in time. Slope determinations should be based on a site survey of the proposed disturbance area.

Total Risk Score		
N.	<b>Moderate Risk Base Score</b>	<b>2</b>
O.	<b>Enter Score from Line G above (Risk Factor Total)</b>	<b>0</b>
P.	<b>Add lines N and O</b>	<b>2</b>
Q.	<b>Enter Score from Line M above (Risk Mitigation Factor Total)</b>	<b>3</b>
R.	<b>OVERALL RISK SCORE: Subtract line Q from line P</b>	<b>(1)</b>

### Part III– Interpreting the Detailed Risk Evaluation

OVERALL SCORE	Risk Category	Directions for Filing for Permits
<1	Low Risk	<p>The proposed project is eligible for the Construction General Permit as a Low Risk project provided that the requirements of Subpart 2 are met. If these requirements cannot be met, contact DEC to determine if the project should seek coverage as a Moderate Risk project or under an Individual Discharge Permit.</p> <p>Refer to Part IV of Appendix A for a summary of the application requirements for Low Risk projects.</p>
1-2	Moderate Risk	<p>The proposed project is eligible for the Construction General Permit as a Moderate Risk project provided that the requirements of Subpart 3 are met. If these requirements cannot be met, contact DEC to determine if the project should seek coverage as a Moderate Risk project or under an Individual Discharge Permit.</p> <p>Refer to Part IV of Appendix A for a summary of the application requirements for Moderate Risk projects.</p>
>2	Requires Individual Permit	<p>The proposed project is not eligible for coverage under the Construction General Permit, and therefore requires coverage under an Individual Discharge Permit. Please refer to Stormwater Section on the Water Quality Division website for more information:  <a href="http://www.vtwaterquality.org/stormwater.htm">www.vtwaterquality.org/stormwater.htm</a>.</p>

## Part IV – Filing Directions

### 1. Low Risk Projects

Projects that qualify as Low Risk are required to implement the applicable practices detailed in the *Low Risk Site Handbook for Erosion Prevention and Sediment Control*. To obtain coverage under General Permit 3-9020 as a Low Risk project, applicants must submit the following to DEC:

1. A completed Notice of Intent form for General Permit 3-9020;
2. A completed Appendix A;
3. The required processing fee (\$300 for projects 5 acres or larger, \$30 for projects less than 5 acres).

To satisfy the public comment requirement, **applicants must file a copy of the completed Notice of Intent form, including a copy of Appendix A, with the municipal clerk in the municipalities where the project will occur prior to submitting this information to ANR. Details of the public notice process are in Part 2 of the general permit.**

### 2. Moderate Risk Projects

Projects that qualify as Moderate Risk are required to implement a site-specific Erosion Prevention and Sediment Control (EPSC) Plan that conforms to *The Vermont Standards and Specifications for Erosion Prevention and Sediment Control*. To obtain coverage under General Permit 3-9020 as a Moderate Risk project, applicants must submit the following to DEC:

1. A completed Notice of Intent form for General Permit 3-9020;
2. A completed Appendix A;
3. A site-specific EPSC Plan;
4. A certification by the plan preparer that the EPSC Plan conforms to *The Vermont Standards and Specifications for Erosion Prevention and Sediment Control*;
5. The required processing fee (\$300 for projects 5 acres or larger, \$30 for projects less than 5 acres).

To satisfy the public comment requirement, **applicants must file a copy of the completed Notice of Intent form, including a copy of Appendix A, with the municipal clerk in the municipalities where the project will occur prior to submitting this information to ANR. Details of the public notice process are in Part 3 of the general permit.**

